



hpa, inc.
600 Grand Avenue, suite 302
Oakland, CA 94610
tel: 949-863-1770
fax: 949-863-0851
email: hpa@hparchs.com

Owner:
Roseville 80
Land North

8775 Folsom Blvd, #200
Sacramento, CA 95826
ph: (916) 379-1202

Project:

Roseville 80

Roseville, CA

Consultants:

Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: Master site plan

Project Number: 16245.15

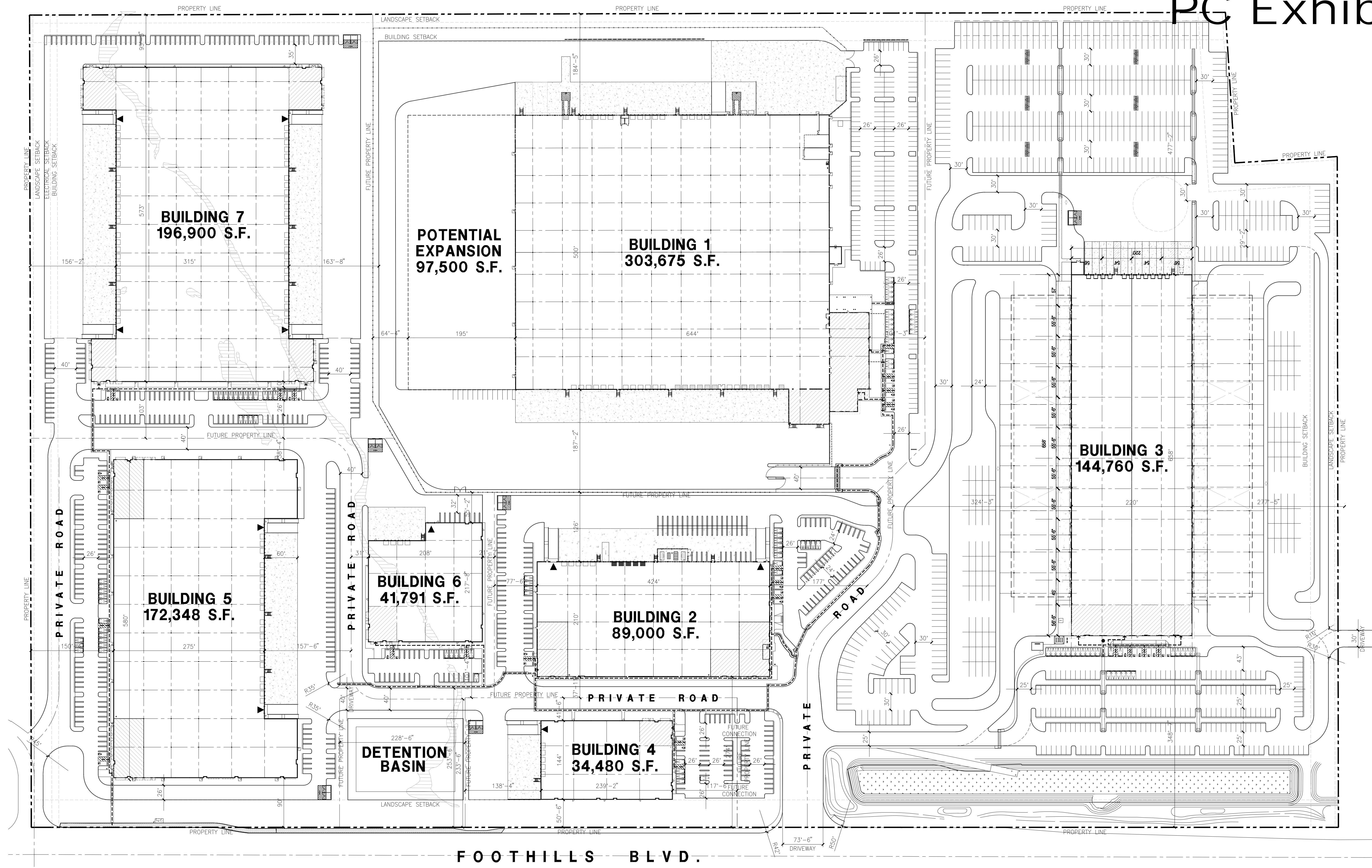
Drawn by: MD

Date: 11/13/2019

Revision:

Sheet:

0-DAB-A1.0



Property owner
ROSEVILLE 80 LAND NORTH
8775 FOLSOM BLVD., #200 SACRAMENTO, CA 95826
PHONE: (916)-379-1106
CONTACT: STEVE BEAUCHAMP

Address of the property
7551 Foothills Blvd. Roseville CA

Zoning
ZONING DESIGNATION—LIGHT INDUSTRIAL (M-1)

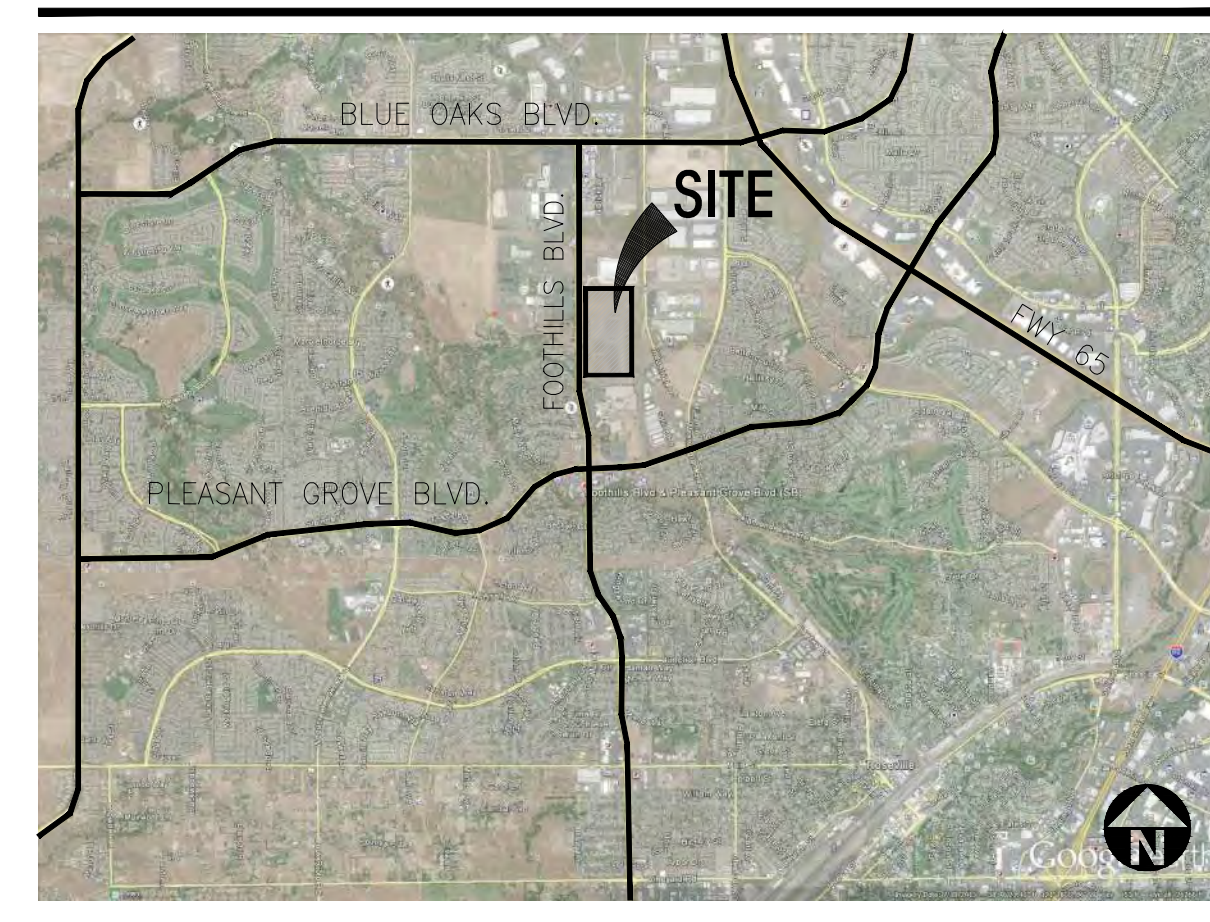
Applicant
HPA, INC.
600 GRAND AVENUE, SUITE 302
OAKLAND, CA 94610
PHONE: 949-863-1770

PROJECT DATA

SITE AREA	BLDG. 1							BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	BLDG. 7	TOTAL	BASIN	GRAND TOTAL
	BLDG. 1	EXP.	TOTAL	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5									
In s.f.			863,821	274,786	1,164,947	116,826	407,331	108,571	482,647	3,418,529	53,804	3,472,333	s.f.			
In acres			19.83	6.31	26.73	2.68	9.35	2.49	11.08	78.48	1.24	79.71	acre			
BUILDING AREA																
Office	12,300		12,300	8,500	11,400	2,500	12,000	3,000	12,000	61,700		61,700	s.f.			
Warehouse	291,375	97,500	388,875	80,500	133,360	31,980	160,348	38,791	184,900	1,018,754		1,018,754	s.f.			
TOTAL	303,675	97,500	401,175	89,000	144,760	34,480	172,348	41,791	198,900	1,080,454		1,080,454	s.f.			
COVERAGE			48.4%	32.4%	12.4%	29.5%	42.3%	38.5%	40.8%							31.1%
AUTO PARKING PROVIDED																
Office: 1/250 s.f.	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Whse: 1/1,000 s.f.	304	98	401	89	145	34	172	42	197	1,080		1,080	stall			
TOTAL	304	98	401	89	145	34	172	42	197	1,080		1,080	stall			
AUTO PARKING PROVIDED																
Standard (9' x 18')	186		186	146	231	24	123	31	142	883		883	stall			
Clean air/vanpool (9' x 16' +2' Overhang)	5		5	4	6	1	3	1	4	24		24	stall			
EV parking (9' x 16' +2' Overhang)	13		13	11	16	2	9	3	11	65		65	stall			
Accessible EV Van (9' x 18' +8' Aisle)	1		1	1	1	1	1	1	1	7		7	stall			
Accessible Standard EV parking (9' x 18')	1		1	1	1	1	1	1	1	7		7	stall			
Van accessible parking (9' x 18' +8' Aisle)	3		3	3	3	1	2	1	2	15		15	stall			
Accessible Standard parking (9' x 18')	3		3	3	4	1	3	1	2	17		17	stall			
Compact (8' x 16')	0		0	10	0	0	0	0	0	10		10	stall			
TOTAL	212		212	179	262	31	142	39	163	1,028		1,028	stall			
VAN PARKING PROVIDED																
Trailer (11' x 27')					436					436		436	stall			
BICYCLE PARKING PROVIDED																
TSM CalGreen short term - 5% of autos	11		11	9	14	2	8	2	9	55		55	stall			
Cal Green long term - 5% of autos	11		11	9	14	2	8	2	9	55		55	stall			
BICYCLE PARKING PROVIDED																
Short term - 5% of autos	11		11	10	14	2	8	2	9	56		56	stall			
Long term - 5% of autos	11		11	10	14	2	8	2	9	56		56	stall			

ZONING ORDINANCE FOR CITY
Zoning Designation - Light Industrial (M-1)
NPA: LI - Light Industrial
MAXIMUM BUILDING HEIGHT ALLOWED
Height - 50'
MAXIMUM FLOOR AREA RATIO
FAR - 50
LANDSCAPE REQUIREMENT
Percentage - 50%
SETBACKS
Building
Front - Less than 50,000 sf - 50'
Less than 100,000 sf - 65'
Greater than 100,000 sf - 90'
Parking - 20'
Building Pad - 10'
Side - Less than 50,000 sf - 20'
Less than 100,000 sf - 35'
Greater than 100,000 sf - 50'
Parking - 6'
Building Pad - 10'
Rear - Less than 50,000 sf - 35'
Less than 100,000 sf - 45'
Greater than 100,000 sf - 60'
Parking - 6'
Building Pad - n/a
Landscape
50' from Foothills Blvd.
15' from Union Pacific Rail road
6' parking lot setback from adjacent properties

MASTER SITE PLAN
SCALE: 1" = 80'-0"
VICINITY MAP
scale: 1" = 80'-0"



NOTE 1 - (NATIONAL ACCOUNT) FIXTURE PACKAGE PRICING PROVIDED BY TURTLE AND HUGHES. PLEASE CONTACT (909) 218-8644 OR EMAIL JESSICA.FISHEL@TURTLE.COM FOR FIXTURE AND CONTROLS PRICING

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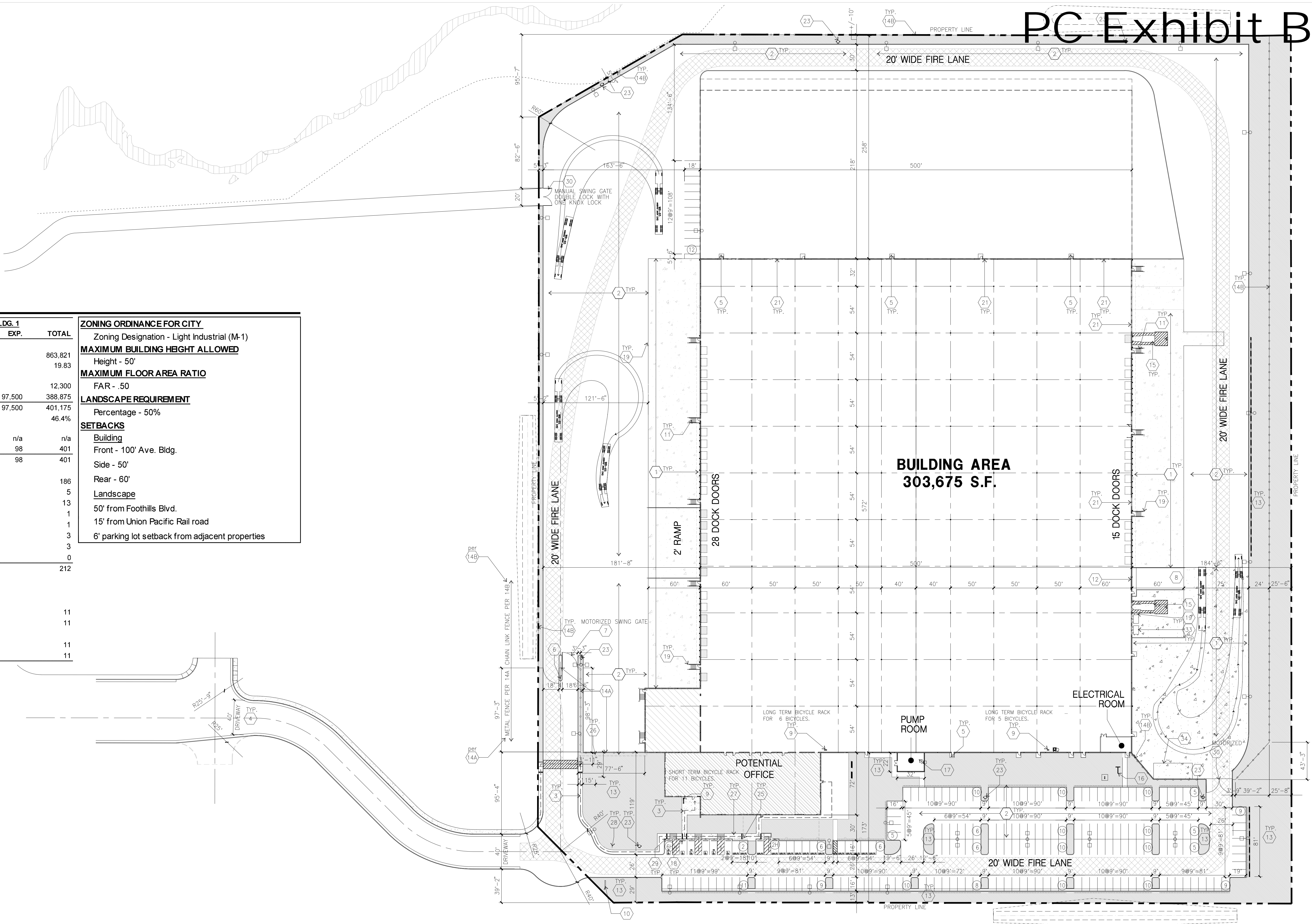
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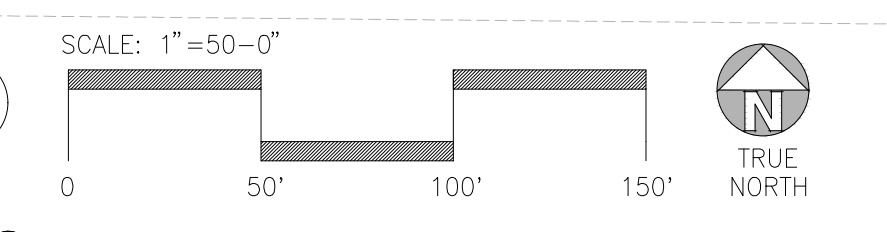
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SITE AREA	BLDG. 1		TOTAL
	BUILDING	EXP.	
In s.f.			863,821
In acres			19.83
BUILDING AREA			
Office	12,300		12,300
Warehouse	291,375	97,500	388,875
TOTAL	303,675	97,500	401,175
COVERAGE			
AUTO PARKING REQUIRED			46.4%
Office: 1/250 s.f.	n/a	n/a	n/a
Whse: 1/1,000 s.f.	304	98	401
TOTAL	304	98	401
AUTO PARKING PROVIDED			
Standard (9' x 18')	186		186
Clean air/ vanpool (9' x 16' +2' Overhang)	5		5
EV parking (9' x 16' +2' Overhang)	13		13
Accessible EV Van (9'x18'+8' Aisle)	1		1
Accessible Standard EV/ parking (9'x18')	1		1
Van accessible parking (9'x18'+8' Aisle)	3		3
Accessible Standard parking (9'x18')	3		3
Compact (8' x 16')	0		0
TOTAL	212		212
VAN PARKING PROVIDED			
Trailer (11' x 27')			
BICYCLE PARKING REQUIRED			
TSM CalGreen short term - 5% of autos	11		11
Cal Green long term - 5% of autos	11		11
BICYCLE PARKING PROVIDED			
Short term - 5% of autos	11		11
Long term - 5% of autos	11		11

ZONING ORDINANCE FOR CITY
Zoning Designation - Light Industrial (M-1)
MAXIMUM BUILDING HEIGHT ALLOWED
Height - 50'
MAXIMUM FLOOR AREA RATIO
FAR - .50
LANDSCAPE REQUIREMENT
Percentage - 50%
SETBACKS
Building
Front - 100' Ave. Bldg.
Side - 50'
Rear - 60'
Landscape
50' from Foothills Blvd.
15' from Union Pacific Rail road
6' parking lot setback from adjacent properties



OVERALL SITE PLAN



SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONC. PAVEMENT.
- 2 ASPHALT CONCRETE (AC)
- 3 CONCRETE WALKWAY
- 4 DRIVEWAY APRONS
- 5 5'-6"x5'-6"x4" MIN. THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" = 1'-2" MAX.
- 6 SINGLE HEIGHT ACCESS DEVICE
- 7 MOTORIZED METAL GATES W/ KNOX PAD LOCK
- 8 CONCRETE RAMP WITH CONCRETE GUARD WALL
- 9 BIKE RACK
- 10 FUTURE MONUMENT SIGN, BY OTHERS, STUB CONDUIT TO SIGN FOR FUTURE POWER
- 11 EXTERIOR CONC. STAIR
- 12 12' x 14' DRIVE-IN DOOR
- 13 LANDSCAPE.
- 14 7' HIGH METAL FENCE.
- 14a 7' HIGH CHAIN LINK FENCE.
- 15 TRASH COMPACTOR. (N.I.C.)
- 16 APPROXIMATE LOCATION OF TRANSFORMER.
- 17 PUMP ROOM
- 18 PRE-CAST CONC. WHEEL STOP
- 19 CONC. FILLED GUARD POST *6 DIA. U.N.O. 48" HIGH
- 20 EXTERIOR PARKING LIGHT POLE
- 21 KNOCKOUT PANEL
- 22 CONDUIT FOR EV CHARGING STATION.
- 23 FIRE HYDRANTS W/ CONC. FILLED STEEL GUARD POST
- 24 SMOKING AREA, PROVIDE SIGN AND CIGARETTE RECEPTACLE.
- 25 DRAIN THRU CURB
- 26 METAL FENCE MAN GATE WITH SECURITY PEDESTAL
- 27 TRUNCATED DOME
- 28 HANDICAP ENTRY SIGN
- 29 HANDICAP PARKING STALL SIGN
- 30 CHAIN LINK FENCE SWING GATE
- 31 CANOPY ABOVE
- 32 COLUMN
- 33 TRASH BIN WITH BOLLARDS.
- 34 GENERATOR PAD

SITE PLAN GENERAL NOTES

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GULARTER PROJECT NO 20170094.001A DATED 5/12/2016
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- NOT USED.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- NOT USED.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- NOT USED.
- ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- NOT USED.

SITE PLAN GENERAL NOTES

- CONCRETE PAVING. DRWS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 16' + 2' OVERHANG)
- CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV (9' X 16' + 2' OVERHANG)
- CLEAN AIR/ VANPOOL/EV WITHOUT CONDUIT STUB FOR FUTURE EV (9' X 16' + 2' OVERHANG)
- TRAILER PARKING (10' X 53')
- LANDSCAPED AREA
- NON-ACCESSIBLE PATH
- PATH OF TRAVEL. MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN
- COMPACT PARKING STALL (8' X 14' + 2' OVERHANG)
- ACCESSIBLE PARKING STALL (9' X 18')
- ACCESSIBLE AISLE SEE DETAIL 11/A0.1
- ACCESSIBLE PARKING (VAN) STALL (9' X 18') + 8' W/ ACCESSIBLE AISLE
- LIGHT STANDARD
- EXISTING PUBLIC FIRE HYDRANT
- PRIVATE FIRE HYDRANT - APPROXIMATE LOCATION
- CATCH BASIN APPROX. LOCATION
- WATER LINE - SEE CIVIL
- GAS LINE - SEE CIVIL
- SEWER LATERAL SEE CIVIL

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KEYNOTES-FLOOR PLAN

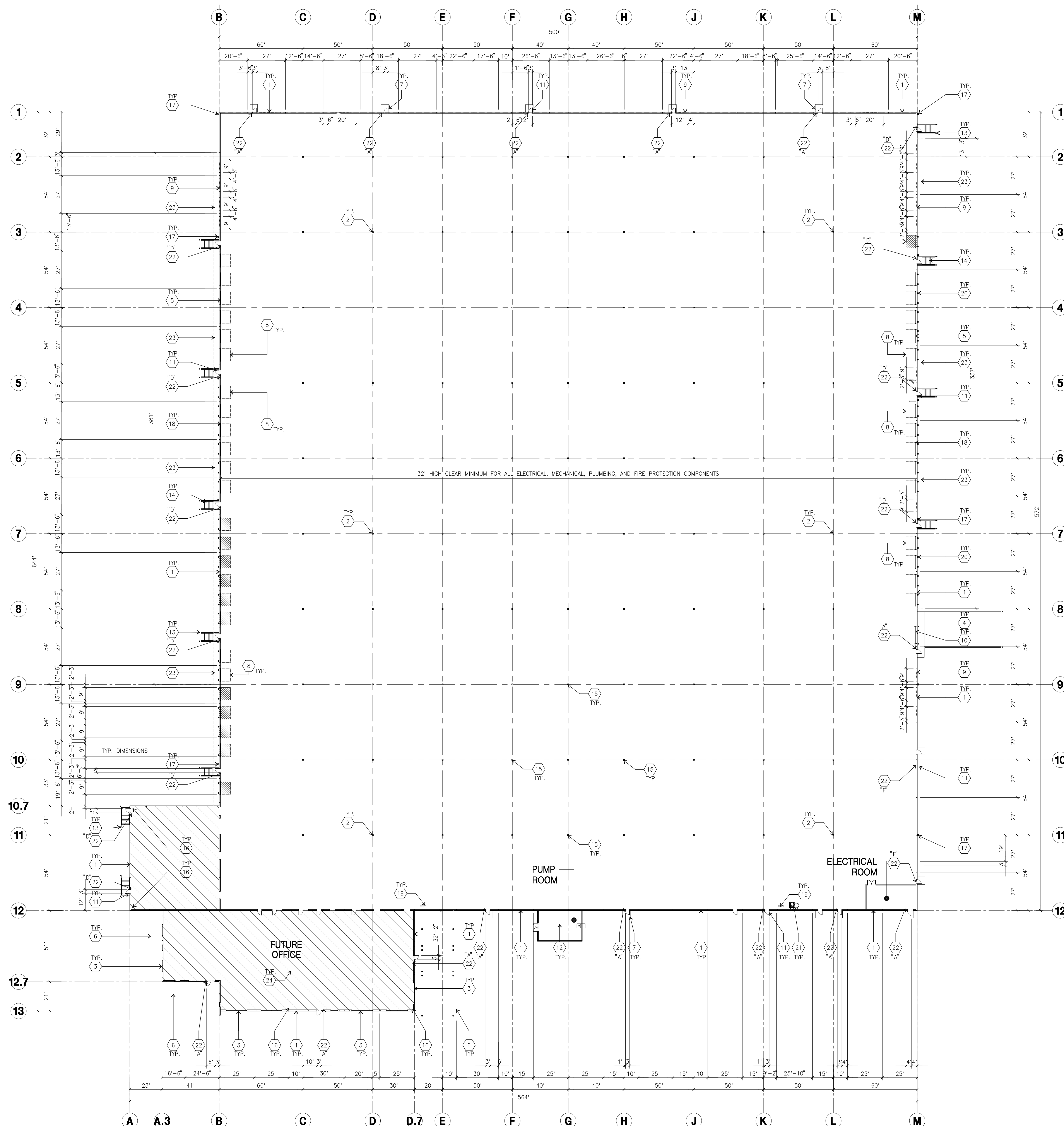
- 1 CONCRETE TILT-UP PANEL
- 2 STRUCTURAL STEEL COLUMN
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 8'-0" X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST WIND 125 MPH.
- 6 ENTRY METAL CANOPY
- 7 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" - 12" MAX.
- 8 9'-0" X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE. W/ PIT LEVELERS BY KELLY FX BLADDER TYPE PIT LEVELERS W/ 16" LIP. DESIGNED TO RESIST WIND 125 MPH.
- 9 9'-0" X 10'-0" KNOCKOUT PANEL
- 10 12' X 14" DRIVE THRU, SECTIONAL O.H., STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST WIN 125 MPH.
- 12 SLAB RECESS
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 48"H.
- 14 EXTERIOR CONC. STAIR
- 15 FIRE EXTINGUISHER, MOUNTED ON MANUFACTURER APPROVED HANGER OR IN CABINET, WITH THE TOP OF APPLIANCE NO MORE THAN 48" AFF PER CFC 906.
- 16 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER, PROVIDE PROTECTION BOLLARD
- 17 EXTERIOR METAL DOWNSPOUT WITH OVERFLOW SCUPPER.
- 18 Z-GUARD DOCK DOOR PROTECTION
- 19 INTERIOR BIKE RACK
- 20 DOCK DOOR BUMPER
- 21 ROOF ACCESS LADDER
- 22 TACTILE EGRESS SIGNAGE
- 23 DOCK CANOPY
- 24 ROOF ACCESS LADDER @ POTENTIAL OFFICE

GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT APPROXIMATELY 100' A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. NOT USED.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. NOT USED
- F. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- G. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- H. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- I. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- J. ALL MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. EXITS MARKED WITH AN ● SHALL ALSO BE PROVIDED WITH A SIGN ON THE INTERIOR SIDE OF THE DOOR STATING "NOT A WHEELCHAIR ACCESSIBLE EXIT." REMOVE ALL ACCESS HARDWARE ON EXTERIOR SIDE OF THE DOOR.
- K. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.

FLOOR NOTES AND POUR STRIPS REQUIREMENTS

- THESE NOTES ARE VERY MIN. REQUIREMENT. SEE "S" DWGS FOR ADDITIONAL REQUIREMENTS
1. COMPACTION PER STRUCTURAL AND GEOTECH REQUIREMENTS.
 2. BUILDING FLOOR SLAB: SEE "S" DWGS
 3. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-89
 4. SLAB SAW-CUT TO BE DONE WITH A "SOFT CUT" G-2000 OR LARGER MACHINE IMMEDIATELY AFTER FINISH TROWELLING.
 5. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 6. NOT USED.
 7. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 8. NOT USED.
 9. FF = 50, FL = 30 MINIMUM AVERAGE TO BE APPLIED ON A PER POUR BASIS. MINIMUM TO APPLY ON EACH TEST WITHIN POUR.
 10. NO FLY ASH IN THE CONCRETE.
 11. PROVIDE 15 MIL STEGO UNDER THE ENTIRE BUILDING FOOTPRINT. REFER TO SOIL ENGINEER AND OR MANUFACTURER'S RECOMMENDATION. CONCRETE SHALL BE PROPERLY CURED PER SOILS RECOMMENDATION
 12. SEAL CONCRETE W/ SEALER IN COMPLIANCE WITH TENANT'S REQUIREMENTS, SUBMIT TO TEAM FOR APPROVAL
 13. CURING-25% SOLID SPRAY APPLIED MEMBRANE CURE AND SEAL
 14. NO PERMANENT GREASE PEN PANEL MARKS ON FLOOR SLAB. NO RED CHALK MARKS. ALL CONSTRUCTION MARKS TO BE REMOVED BEFORE SEALING.
 15. 10' POUR STRIP AT TRUCK DOOR. 4FT. MAX. ELSEWHERE.
 16. ALL FLOOR SLAB NAIL OR BRACE FRAME HOLES FILLED WITH APPROVED 2 PART EPOXY COMPOUND TO MATCH CONCRETE COLOR. PEGA BOND LV 2000, BURKE EPOXY INJECTION RESIN OR EQUAL.
 17. PROVIDE FIRE EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENT.
 18. PROVIDE MM80 (OR EQUAL) AT ALL CONTROL JOINTS AT PROJECT COMPLETION



OVERALL FLOOR PLAN
 scale: 1"=30'-0"
 SCALE: 1"=30'-0"
 TRUE NORTH

PC Exhibit B



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Roseville, CA

Consultants:
 Civil: Kimley Horn
 Structural:
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 Plumbing:
 Electrical:
 Landscape: Vista Parks
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Title: OVERALL FLOOR PLAN

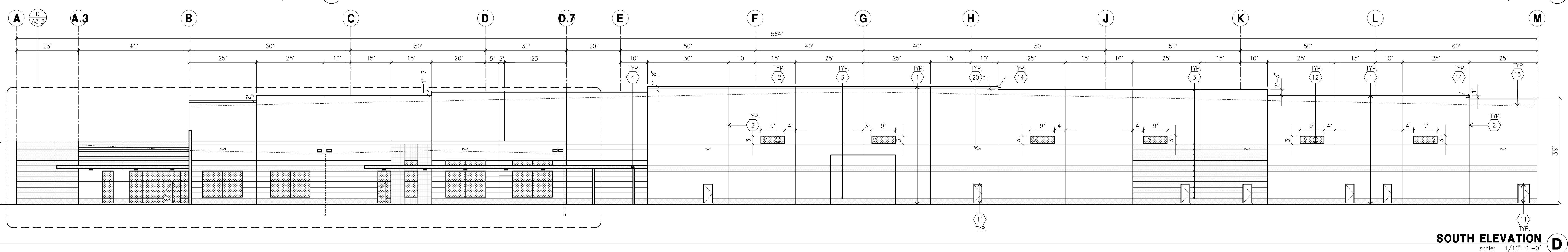
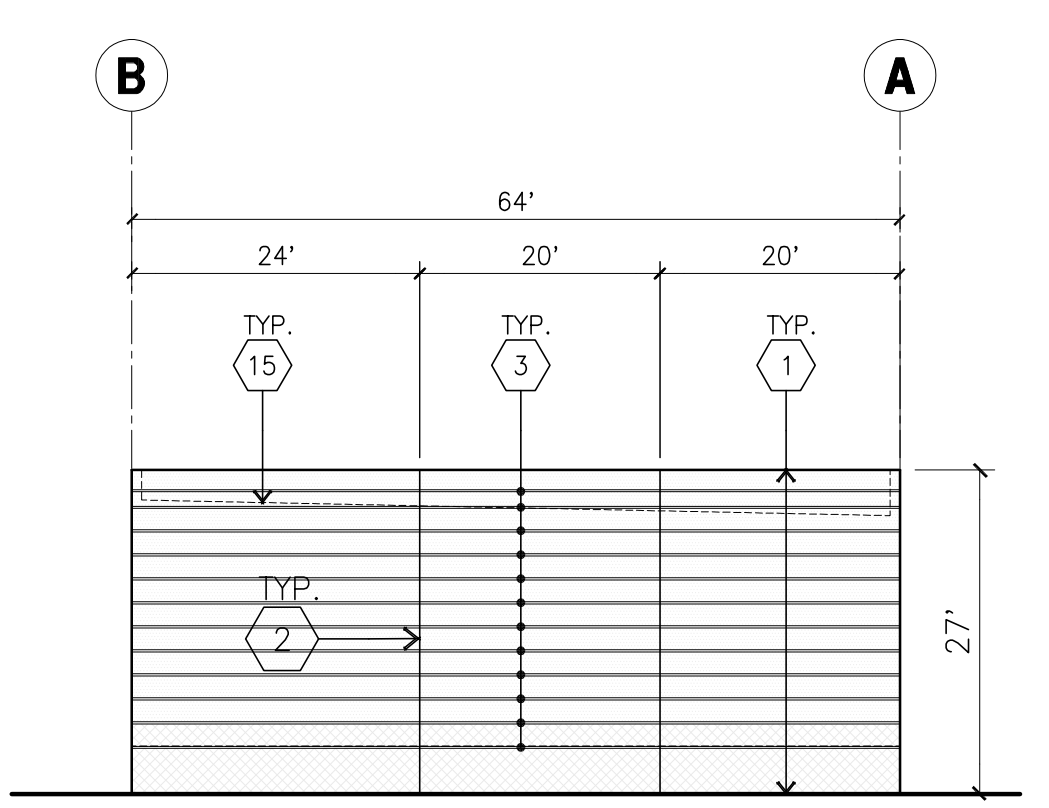
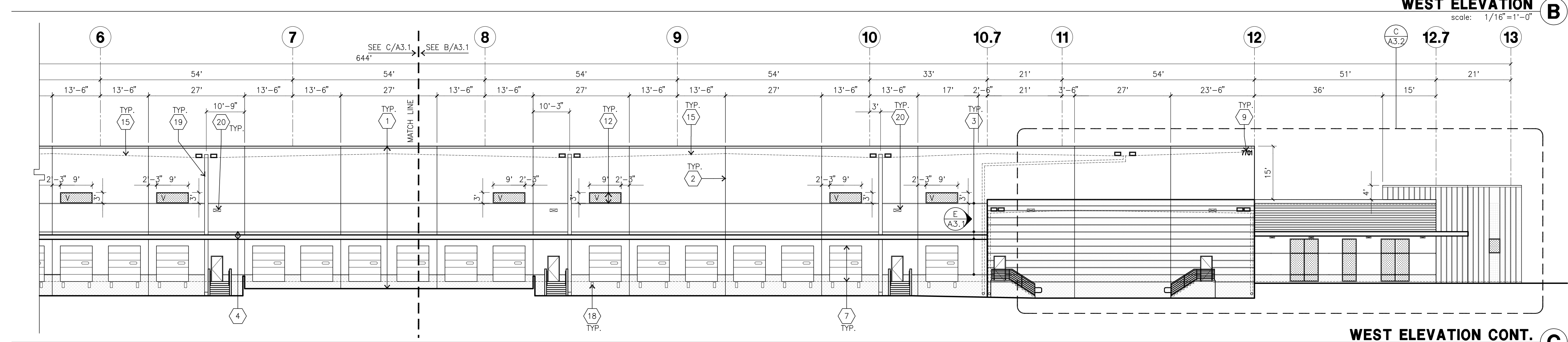
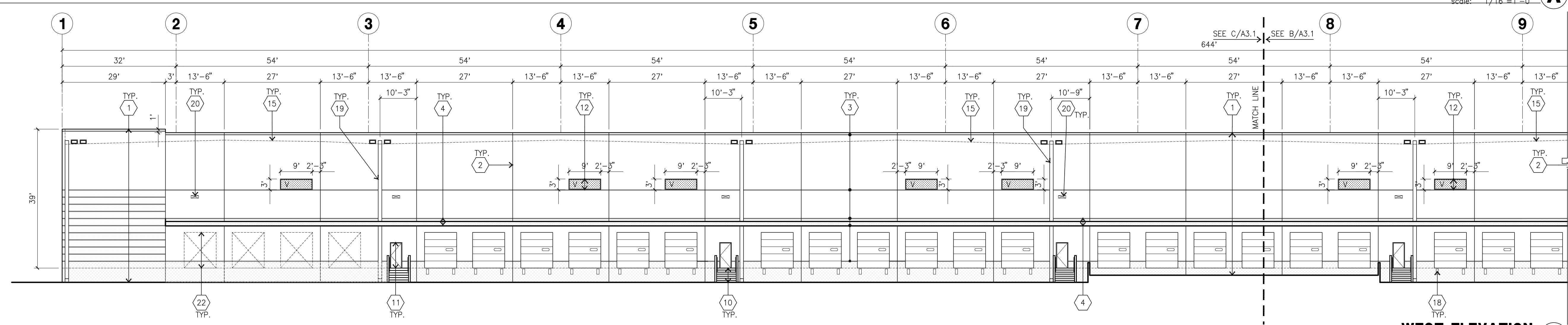
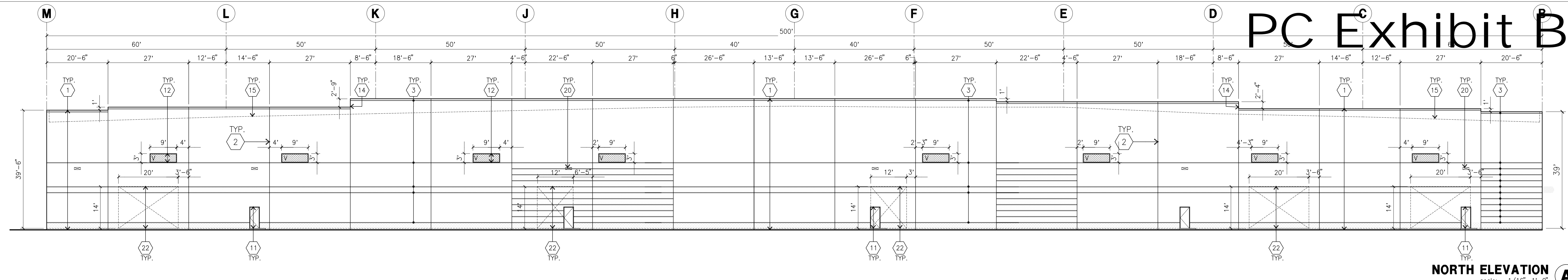
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PC Exhibit B



KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR.
- 4 DOCK METAL CANOPY 3'-11" DEEP CONTINUOUS
- 5 12'W X 14'H OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 ENTRY CANOPY
- 7 9'W X 10'H OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 8 NOT USED
- 9 BUILDING ADDRESS PER FIRE DEPT. REQUIREMENTS. COMPLIES WITH THE CITY OF ROSEVILLE ADDRESSING STANDARDS FOR NUMBER HEIGHT AND STROKE. PVC FACES EPOXY TO WALL, INTERNALLY ILLUMINATED. COLOR TO BE SELECTED BY ARCHITECT.
- 10 STAIR, LANDING AND METAL PIPE RAILING. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS
- 11 HOLLOW METAL DOORS PER DOOR SCHEDULE PROVIDE COMPLETE WEATHER STRIPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 12 ALUMINUM STOREFRONT FRAMING DESIGN TO RESIST CITY REQ'D WIND EXPOSURE "C"
- 13 NOT USED
- 14 PARAPET RETURN.
- 15 ROOF LINE BEYOND.
- 16 NOT USED
- 17 NOT USED
- 18 DOCK BUMPER
- 19 EXTERIOR METAL DOWNSPOUT/ OVERFLOW. PAINTED TO MATCH BUILDING
- 20 EXTERIOR LIGHTING FIXTURE PER ELECTRICAL
- 21 INTERIOR ROOF DRAIN WITH (2) OVERFLOW SCUPPERS
- 22 KNOCK OUT PANEL PER STRUCTURAL

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQ'D WIND LOAD EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- I. NOT USED.

COLOR SCHEDULE - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL
 - 2 CONCRETE TILT-UP PANEL
 - 3 CONCRETE TILT-UP PANEL
 - 4 CONCRETE TILT-UP PANEL
 - 5 CONCRETE TILT-UP PANEL
 - 6 MULLIONS/METAL CANOPY
 - 7 GLAZING
 - 8 DOORS
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
 B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
 C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
 D. F.F. = FINISH FLOOR ELEVATION.
 E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQ'D WIND LOAD EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
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 G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
 H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
 I. NOT USED.

GLAZING LEGEND

ALL GLAZING TO BE TEMPERED

SPANDREL GLASS	VISION GLASS
OPACI #6-0025	
GLAZING: PPK VESTACOL (2) PACIFICA + SOLARBAN 60 (3) CLEAR	
U: 0.27, SHGC: 0.21, VLT: 26%	
INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES	
MULLIONS: ANODIZED CLEAR	
CAULKING: DOW CORNING GRAY	

COLOR LEGEND

CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	METAL ACCENT CANOPY
SW7014 EIDER WHITE	SW7017 DORIAN GREY	SW7019 GAUNLET GREY	PANTONE 144	PANTONE 7462
1	2	3	4	5

PRIME COAT TO BE SPRAYED AND BACK ROLLED.
 FINISH COAT MAY BE SPRAYED. MIN 5 YEAR LABOR AND MATERIAL PAINT WARRANTY

PAINT BRAND, SHERWIN-WILLIAMS SW7014 EIDER WHITE
 PAINT BRAND, SHERWIN-WILLIAMS SW7017 DORIAN GREY
 PAINT BRAND, SHERWIN-WILLIAMS SW7019 GAUNLET GREY
 PAINT BRAND, PANTONE 144
 PAINT BRAND, PANTONE 7462
 COLOR, CLEAR ANODIZED
 COLOR, SUNGUARD NEUTRAL 40
 PAINT BRAND, MATCH BUILDING COLOR

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Project:
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Roseville, CA

Consultants:

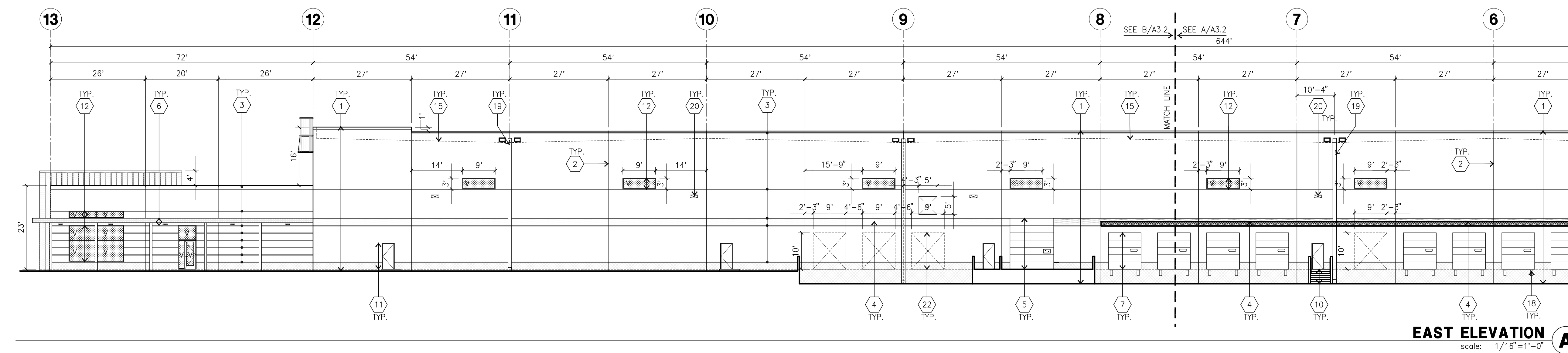
Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
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Landscape: Vista Parks
Fire Protection:
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Title: ELEVATIONS

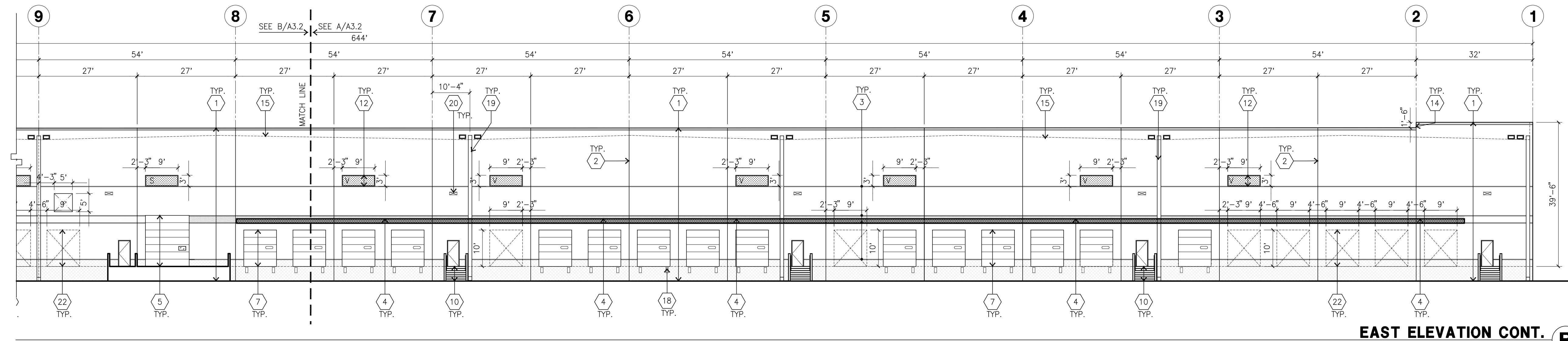
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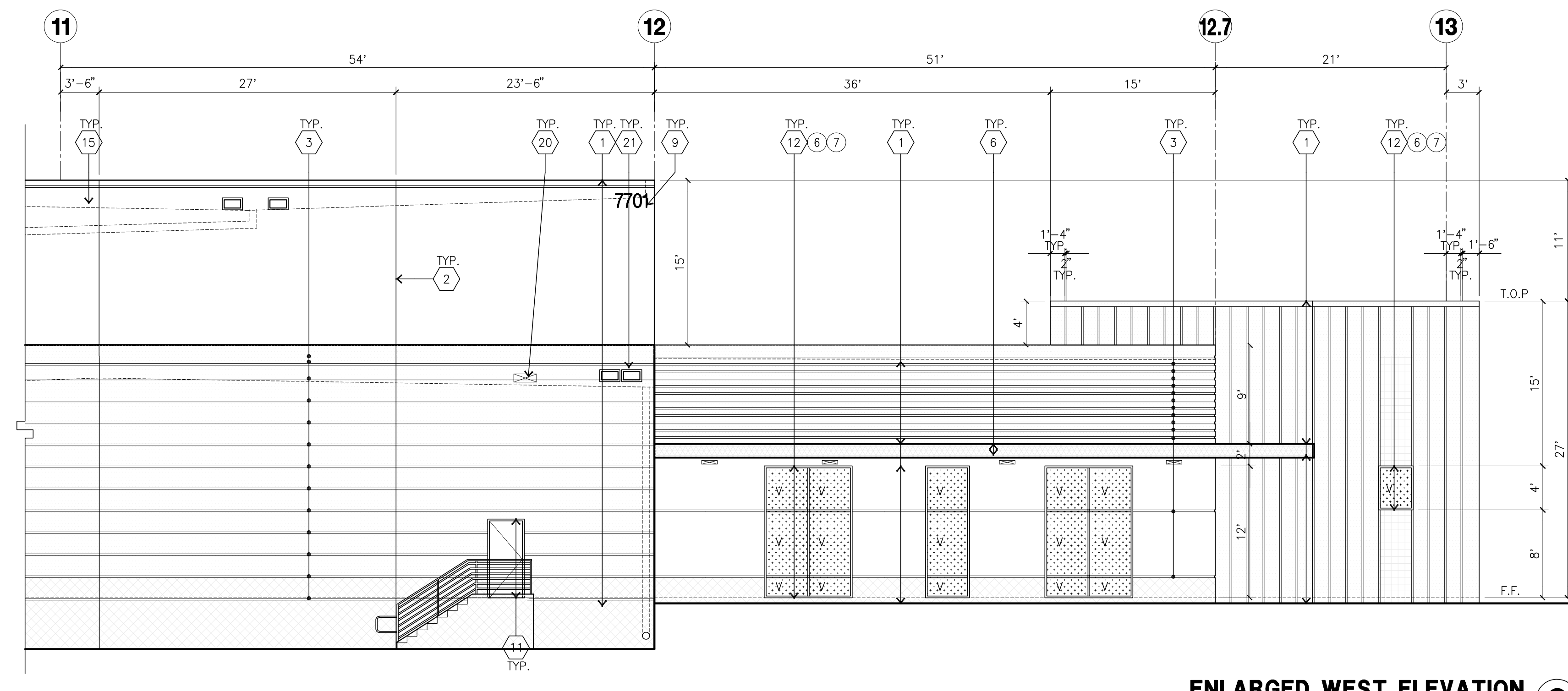
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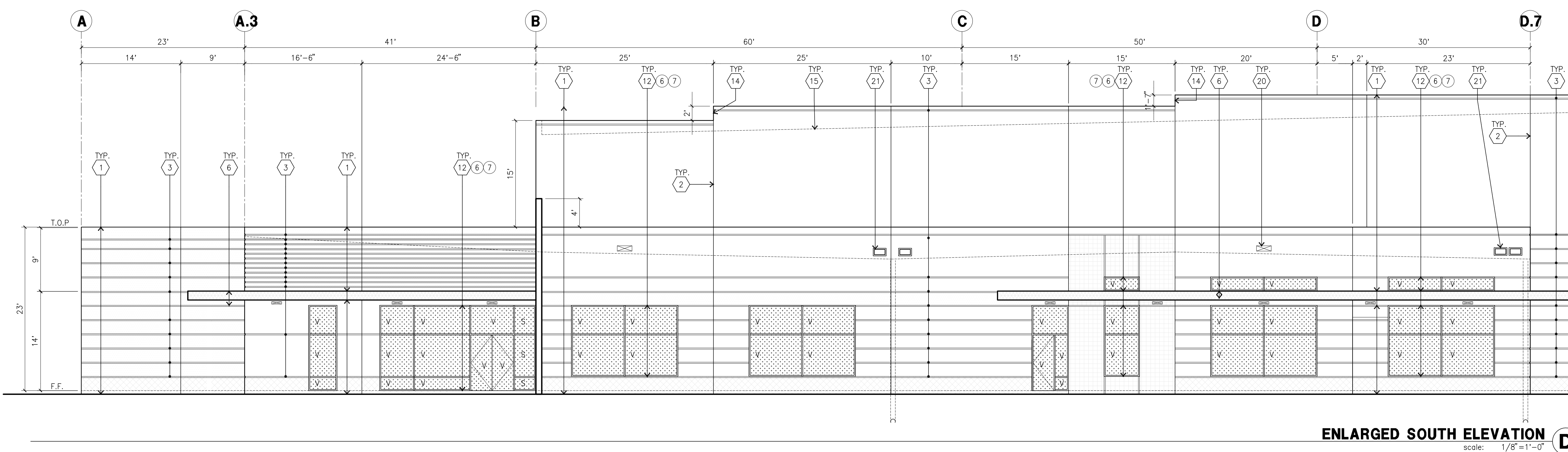
EAST ELEVATION A
scale: 1/16"=1'-0"



EAST ELEVATION CONT. B
scale: 1/16"=1'-0"



ENLARGED WEST ELEVATION C
scale: 1/8"=1'-0"



ENLARGED SOUTH ELEVATION D
scale: 1/8"=1'-0"

- KEYNOTES - ELEVATIONS**
- CONCRETE TILT-UP PANEL (PANTONE).
PANEL GRADE VALLEY WATER PROOF. ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
 - PANEL JOINT.
 - PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR.
 - DOCK METAL CANOPY 3'-11" DEEP CONTINUOUS
 - 12" W X 14" H OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
 - ENTRY CANOPY
 - 9" W X 10" H OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
 - NOT USED
 - BUILDING ADDRESS PER FIRE DEPT. REQUIREMENTS. COMPLIES WITH THE CITY OF ROSEVILLE ADDRESSING STANDARDS FOR NUMBER HEIGHT AND STROKE.
PVC FACES EPOXY TO WALL, INTERNALLY ILLUMINATED. COLOR TO BE SELECTED BY ARCHITECT.
 - STAIR, LANDING AND METAL PIPE RAILING. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS
 - HOLLOW METAL DOORS PER DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
 - ALUMINUM STOREFRONT FRAMING DESIGN TO RESIST CITY REQ'D WIND EXPOSURE "C"
 - NOT USED
 - PARAPET RETURN.
 - ROOF LINE BEYOND.
 - NOT USED
 - NOT USED
 - DOCK BUMPER
 - EXTERIOR METAL DOWNSPOUT/ OVERFLOW, PAINTED TO MATCH BUILDING
 - EXTERIOR LIGHTING FIXTURE PER ELECTRICAL
 - INTERIOR ROOF DRAIN WITH (2) OVERFLOW SCUPPERS
 - KNOCK OUT PANEL PER STRUCTURAL

GENERAL NOTES - ELEVATIONS

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- PRIME COAT TO BE SPRAYED AND BACK ROLLED.
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- CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS SW7014_EIDER_WHITE
 - CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS SW7017_DORIAN_GREY
 - CONCRETE TILT-UP PANEL PAINT BRAND_SHERWIN-WILLIAMS SW7019_GAUNLET_GREY
 - CONCRETE TILT-UP PANEL PAINT BRAND_PANTONE_144
 - CONCRETE TILT-UP PANEL PAINT BRAND_PANTONE_7462
 - MULLIONS/METAL CANOPY COLOR_CLEAR ANODIZED
 - GLAZING COLOR_SUNGUARD NEUTRAL 40
 - DOORS PAINT BRAND_MATCH BUILDING COLOR

GLAZING LEGEND

- ALL GLAZING TO BE TEMPERED
- SPANDREL GLASS
 - W/HRMWAY BLUE
 - CFACI #6-0025
 - VISION GLASS
- GLAZING: PPG VISTAGLID (2) PADICIA + SOLARBAN 60 (3) CLEAR
1/2" GLAZING, SEC. 0.21, VLT. 20%
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES
- MULLIONS: ANODIZED CLEAR
GASKINGS: DOW CORNING GRAY

COLOR LEGEND

CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	METAL ACCENT CANOPY
SW7014 EIDER WHITE	SW7017 DORIAN GREY	SW7019 GAUNLET GREY	PANTONE 144	PANTONE 7462
1	2	3	4	5

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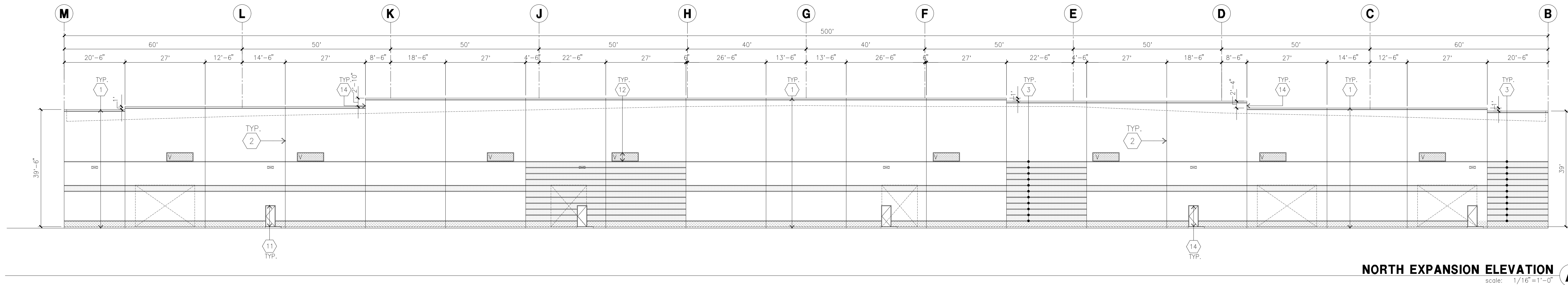
Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: ELEVATIONS

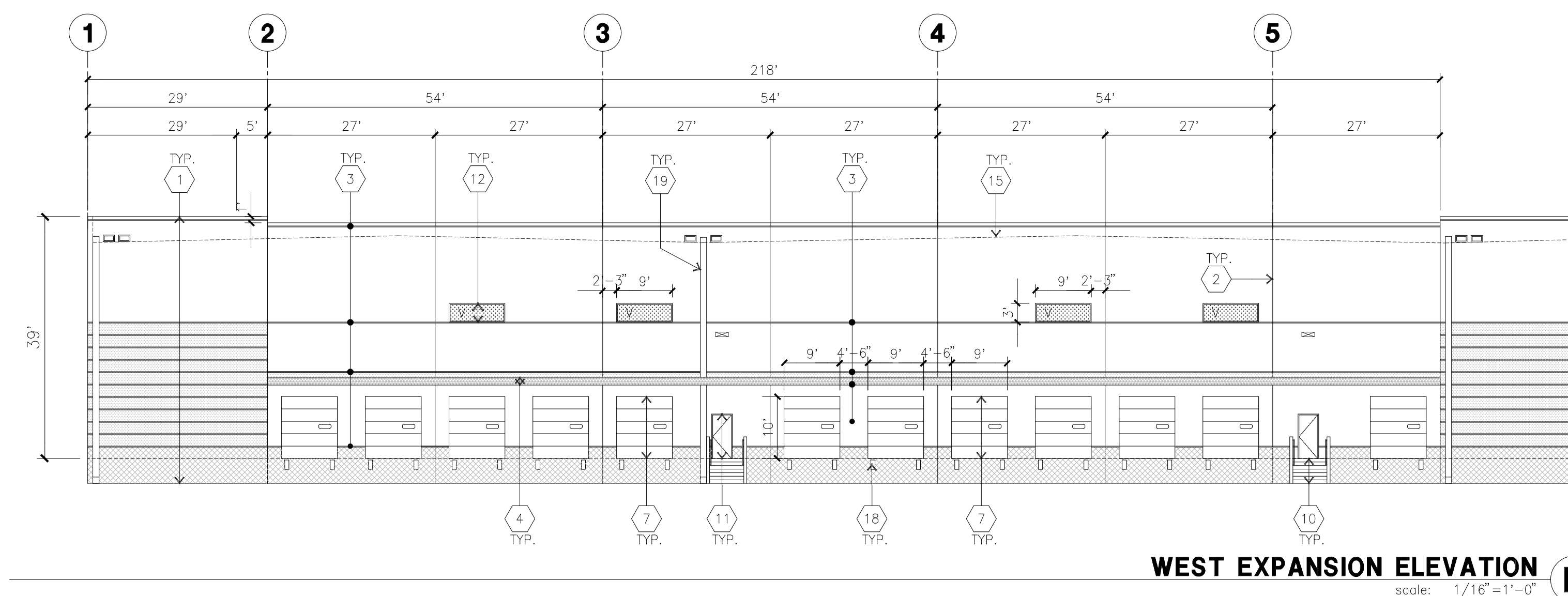
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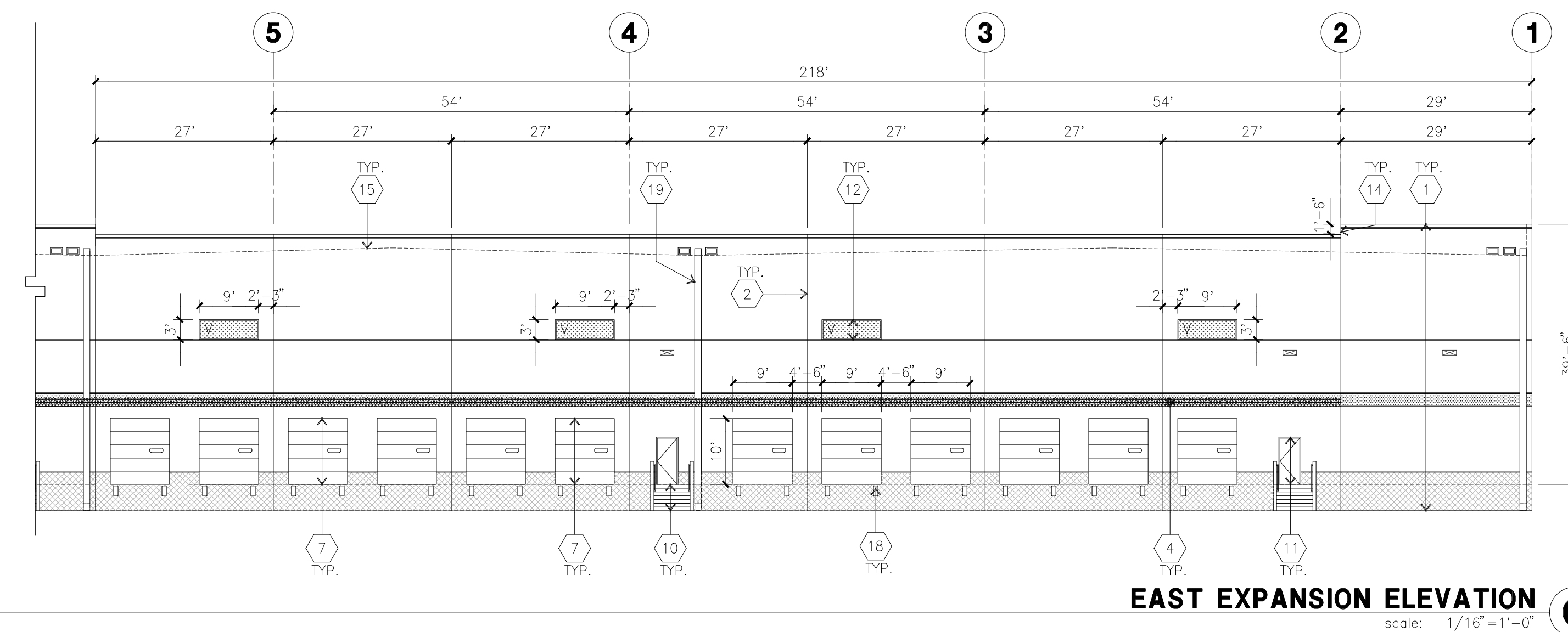
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NORTH EXPANSION ELEVATION
scale: 1/16"=1'-0" **A**



WEST EXPANSION ELEVATION
scale: 1/16"=1'-0" **B**



EAST EXPANSION ELEVATION
scale: 1/16"=1'-0" **C**

KEYNOTES - ELEVATIONS

- | | | |
|--|--|--|
| 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS. | 8 NOT USED | 14 PARAPET RETURN. |
| 2 PANEL JOINT. | 9 BUILDING ADDRESS PER FIRE DEPT. REQUIREMENTS. COMPLIES WITH THE CITY OF ROSEVILLE ADDRESSING STANDARDS FOR NUMBER HEIGHT AND STROKE. PVC FACES EPOXY TO WALL. INTERNALLY ILLUMINATED. COLOR TO BE SELECTED BY ARCHITECT. | 15 ROOF LINE BEYOND. |
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| 4 DOCK METAL CANOPY 3'-11" DEEP CONTINUOUS. | 11 HOLLOW METAL DOORS PER DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR. | 17 NOT USED |
| 5 12"W X 14"H OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. | 12 ALUMINUM STOREFRONT FRAMING DESIGN TO RESIST CITY REQ'D WIND EXPOSURE "C" | 18 DOCK BUMPER |
| 6 ENTRY CANOPY | 13 NOT USED | 19 EXTERIOR METAL DOWNSPOUT/ OVERFLOW. PAINTED TO MATCH BUILDING |
| 7 9"W X 10"H OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. | | 20 EXTERIOR LIGHTING FIXTURE PER ELECTRICAL |
| | | 21 INTERIOR ROOF DRAIN WITH (2) OVERFLOW SCUPPERS |
| | | 22 KNOCK OUT PANEL PER STRUCTURAL |

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COLOR SCHEDULE - ELEVATIONS

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- | | |
|--------------------------|--|
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| 4 CONCRETE TILT-UP PANEL | PAINT BRAND_PANTONE 144 |
| 5 CONCRETE TILT-UP PANEL | PAINT BRAND_PANTONE 7462 |
| 6 MULLIONS/METAL CANOPY | COLOR_CLEAR ANODIZED |
| 7 GLAZING | COLOR_SUNGUARD NEUTRAL 40 |
| 8 DOORS | PAINT BRAND_MATCH BUILDING COLOR |

GLAZING LEGEND

ALL GLAZING TO BE TEMPERED

	SPANDREL GLASS		VISION GLASS
	W/HARMONY BLUE		CLEAR
	OPAI #6-0025		PPG VISTACOOL (2) PACIFICA + SOLARBAN 60 (3) CLEAR
			INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND (2) 1/4" LITES

MULLIONS: ANODIZED CLEAR
CAULKING: DOW CORNING GRAY

COLOR LEGEND

- | | | | | |
|------------------------|------------------------|------------------------|------------------------|---------------------|
| CONCRETE TILT-UP PANEL | CONCRETE TILT-UP PANEL | CONCRETE TILT-UP PANEL | CONCRETE TILT-UP PANEL | METAL ACCENT CANOPY |
| SW7014 EIDER WHITE | SW7017 DORIAN GREY | SW7019 GAUNLET GREY | PANTONE 144 | PANTONE 7462 |
| | | | | |
| 1 | 2 | 3 | 4 | 5 |

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Project:
Roseville 80

Roseville, CA

Consultants:

Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: OVERALL SITE PLAN

Project Number: 16245.15
Drawn by: MD
Date: 11/13/2019

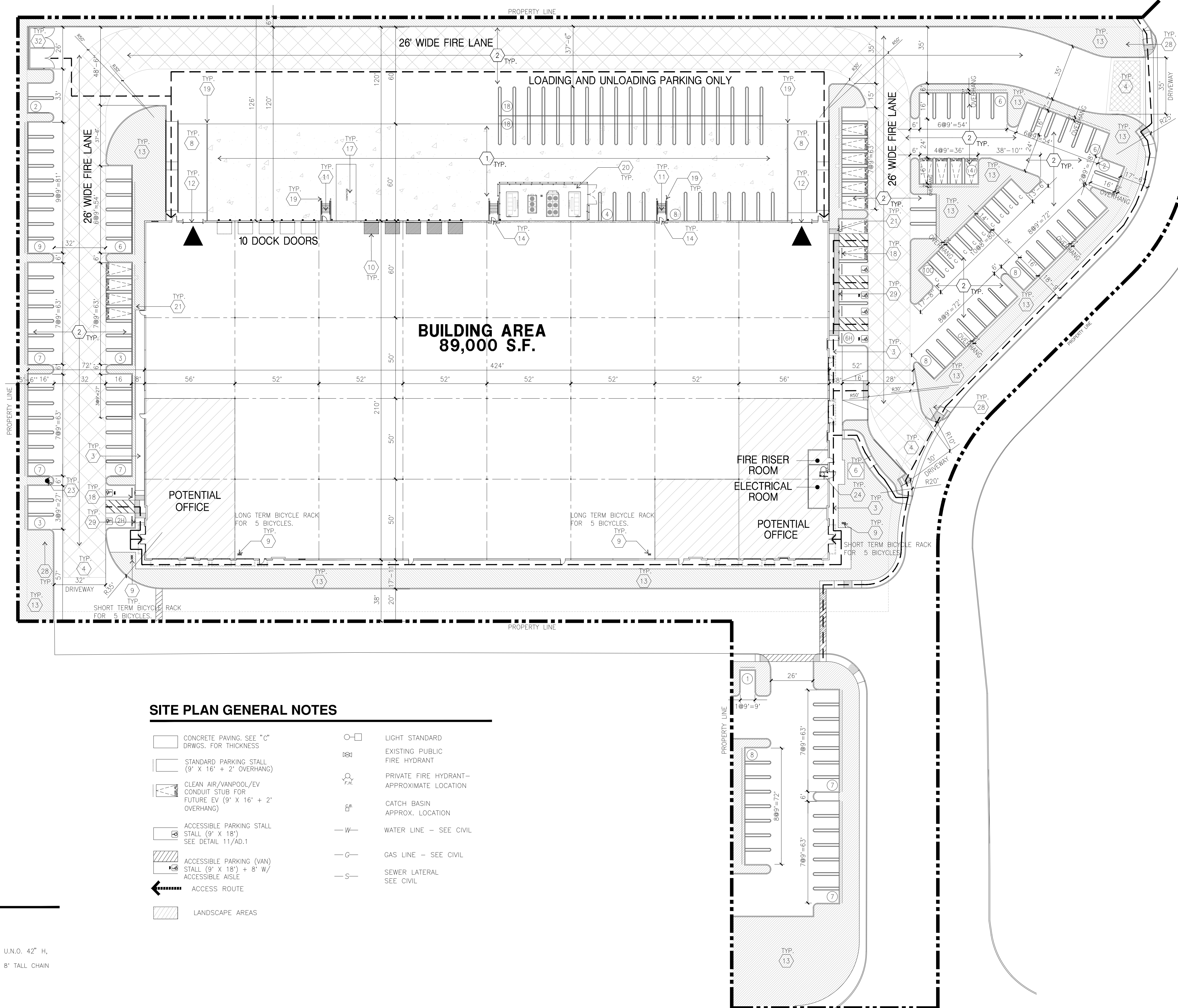
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TABULATION

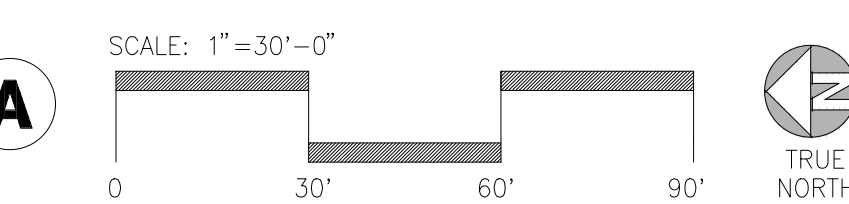
	BLDG. 2
SITE AREA	
In s.f.	274,786
In acres	6.31
BUILDING AREA	
Office	8,500
Warehouse	80,500
TOTAL	89,000
COVERAGE	
	32.4%
AUTO PARKING REQUIRED	
Office: 1/250 s.f.(if exceed 10% of GFA)	n/a
Whse: 1/1,000 s.f.	89
TOTAL	89
AUTO PARKING PROVIDED	
Standard (9' x 18')	146
Clean air/ vanpool (9'x 16' +2' Overhang)	4
EV parking (9'x 16' +2' Overhang)	11
Accessible EV Van (9'x18'+8' Aisle)	1
Accessible Standard EV parking (9'x18')	1
Van accessible parking (9'x18'+8' Aisle)	3
Accessible Standard parking (9'x18')	3
Compact (8' x 16')	10
TOTAL	179
VAN PARKING PROVIDED	
Trailer (11' x 27')	
BICYCLE PARKING REQUIRED	
TSM CalGreen short term - 5% of autos	9
Cal Green long term - 5% of autos	9
BICYCLE PARKING PROVIDED	
Short term - 5% of autos	10
Long term - 5% of autos	10
ZONING ORDINANCE FOR CITY	
Zoning Designation - Light Industrial (M-1)	
MAXIMUM BUILDING HEIGHT ALLOWED	
Height - 50'	
MAXIMUM FLOOR AREA RATIO	
FAR - .50	
LANDSCAPE REQUIREMENT	
Percentage - %	
SETBACKS	
Building	
Front - 100' Ave. Bldg.	
Side - 50'	
Rear - 60'	
Landscape	
50' from Foothills Blvd.	
15' from Union Pacific Rail road	
6' parking lot setback from adjacent properties	



SITE PLAN GENERAL NOTES

- | | |
|--|---|
| CONCRETE PAVING, SEE "C" DRWGS. FOR THICKNESS | LIGHT STANDARD |
| STANDARD PARKING STALL (9' X 16' + 2' OVERHANG) | EXISTING PUBLIC FIRE HYDRANT |
| CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV (9' X 16' + 2' OVERHANG) | PRIVATE FIRE HYDRANT - APPROXIMATE LOCATION |
| ACCESSIBLE PARKING STALL (9' X 18') | CATCH BASIN APPROX. LOCATION |
| ACCESSIBLE PARKING (VAN) STALL (9' X 18') + 8' W/ ACCESSIBLE AISLE | WATER LINE - SEE CIVIL |
| ACCESS ROUTE | GAS LINE - SEE CIVIL |
| LANDSCAPE AREAS | SEWER LATERAL SEE CIVIL |

OVERALL SITE PLAN



SITE PLAN GENERAL NOTES

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY PROJECT NO. DATED
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.(AS REQUIRED)
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- AN ACCEPTANCE TEST OF THE EMERGENCY VEHICLE STROBE-SWITCH SYSTEM SHALL BE WITNESSED BY THE FIRE DEPARTMENT PRIOR TO FINAL APPROVAL OF THE PROJECT.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB

SITE PLAN KEYNOTES

- | | |
|--|--|
| 1 HEAVY BROOM FINISH CONCRETE PAVEMENT. | 17 COMPACTOR PAD, SEE CIVIL |
| 2 ASPHALT PAVING. | 18 PRE-CAST CONC. WHEEL STOP. |
| 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH | 19 CONC. FILLED GUARD POST "6 DIA. U.N.O. 42" H. |
| 4 DRIVEWAY APRONS | 20 REFRIGERATION EQUIPMENT PAD AND 8' TALL CHAIN LINK FENCE WITH SLATS |
| 5 NOT USED | 21 FUTURE EV CHARGING STALLS. |
| 6 APPROXIMATE LOCATION OF TRANSFORMER. | 22 DRAIN THRU CURB. |
| 7 NOT USED. | 23 FIRE HYDRANTS W/ CONC. FILLED STEEL GUARD POST |
| 8 CONCRETE RAMP | 24 LADDER |
| 9 BIKE RACK | 25 NOT USED. |
| 10 DOCK LEVELERS | 26 NOT USED. |
| 11 EXTERIOR STAIR | 27 NOT USED. |
| 12 12' X 14' DRIVE-IN DOOR | 28 ACCESSIBLE ENTRY SIGN. |
| 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING | 29 ACCESSIBLE PARKING STALL SIGN |
| 14 COOLER DOOR BY TENANT | 30 NOT USED. |
| 15 NOT USED | 31 NOT USED. |
| | 32 TRASH ENCLOSURE |

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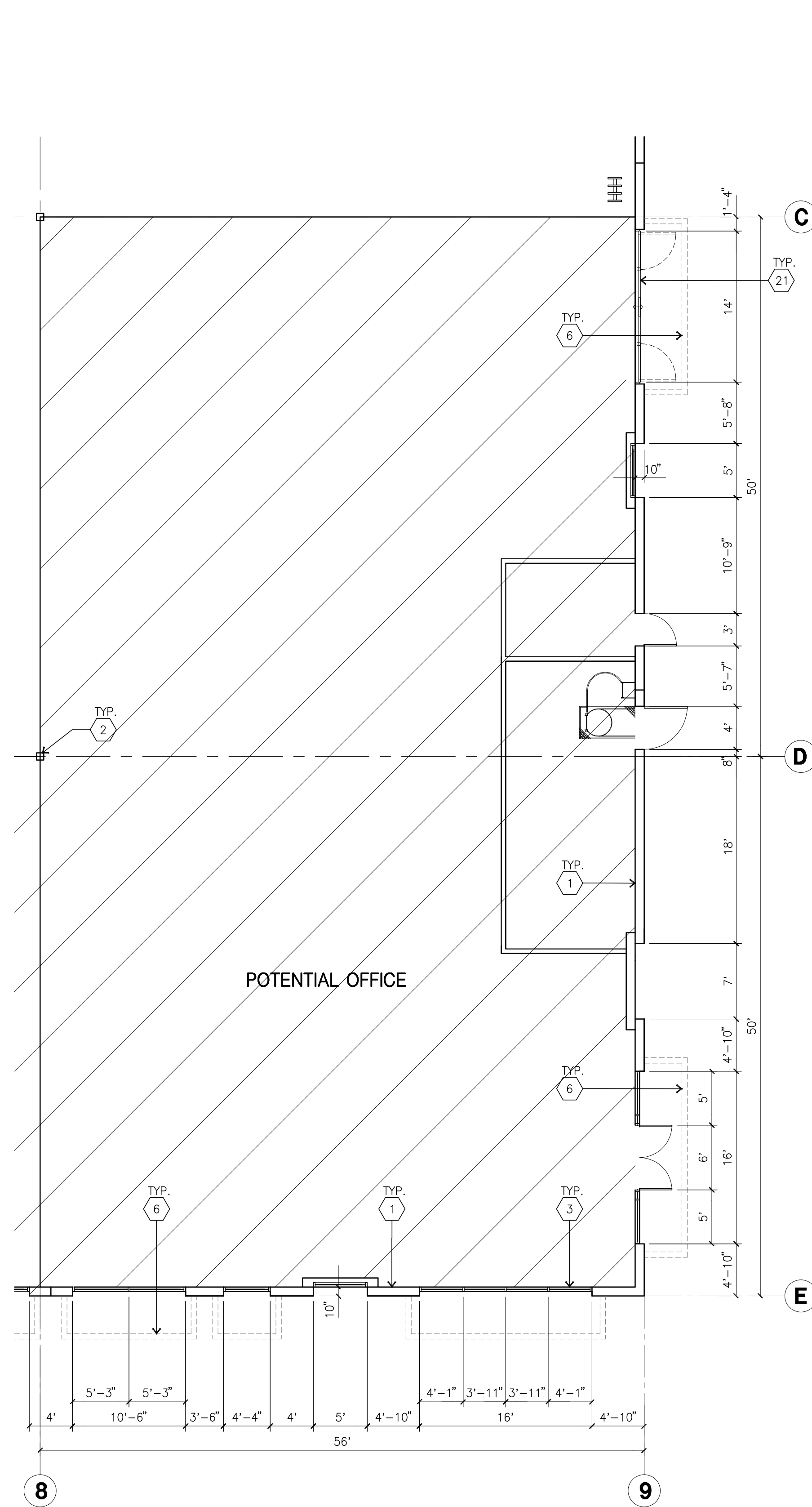
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Fire Protection:
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Title: OVERALL FLOOR PLAN

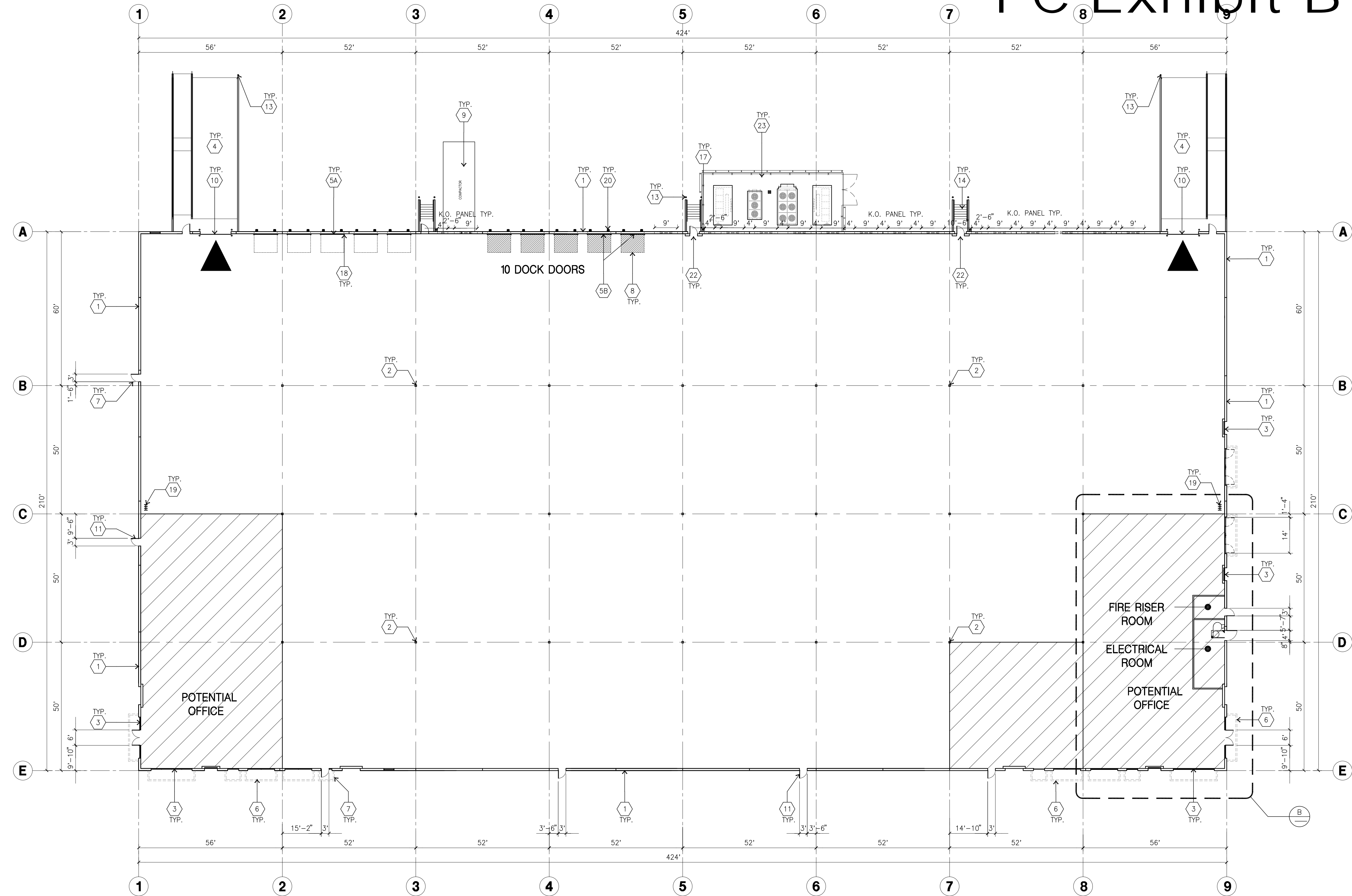
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ENLARGED FLOOR PLAN B
scale: 1/8"=1'-0"
0 8' 16' 24'
TRUE NORTH



OVERALL FLOOR PLAN A
scale: 1"=20'-0"
0 20' 40' 60'
TRUE NORTH

KEYNOTES-FLOOR PLAN

- | | |
|--|--|
| 1 CONCRETE TILT-UP PANEL. | 14 STAIRS AND LANDING. |
| 2 STRUCTURAL STEEL COLUMN. | 15 4'X8' METAL LOUVER |
| 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS. | 16 INTERIOR ROOF DRAIN AND OVERFLOW DRAIN. |
| 4 CONCRETE RAMP. | 17 EXTERIOR METAL DOWNSPOUT WITH OVERFLOW SCUPPER. |
| 5A 9'X10' TRUCK DOOR. SECTIONAL O.H., STANDARD GRADE. | 18 Z-GUARD DOCK DOOR PROTECTION |
| 5B 9'X10' TRUCK DOOR. INSULATED COILING. | 19 INTERIOR BIKE RACK |
| 6 METAL CANOPY. | 20 DOCK DOOR BUMPER |
| 7 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOM FINISH. | 21 SLIDING DOOR |
| 8 DOCK LEVELER. | 22 COOLER DOOR BY TENANT |
| 9 COMPACTOR PAD. SEE CIVIL. | 23 REFRIGERATION EQUIPMENT PAD AND 8" TALL CHAIN LINK FENCE WITH SLATS |
| 10 12'X14' GRADE LEVEL DOOR, SECTIONAL O.H., STANDARD GRADE. | |
| 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR. | |
| 12 SOFFIT LINE ABOVE. | |
| 13 CONCRETE FILLED GUARD POST. 6" DIA. U.N.O. 42"H. | |

GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT APPROXIMATELY 100' A SEPERATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. NOT USED.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. NOT USED.
- F. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- G. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- H. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- I. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- J. ALL MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN.
EXITS MARKED WITH AN SHALL ALSO BE PROVIDED WITH A SIGN ON THE INTERIOR SIDE OF THE DOOR STATING "NOT A WHEELCHAIR ACCESSIBLE EXIT." REMOVE ALL ACCESS HARDWARE ON EXTERIOR SIDE OF THE DOOR.
- K. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.

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Project:
Roseville 80

Roseville, CA

Consultants:
Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

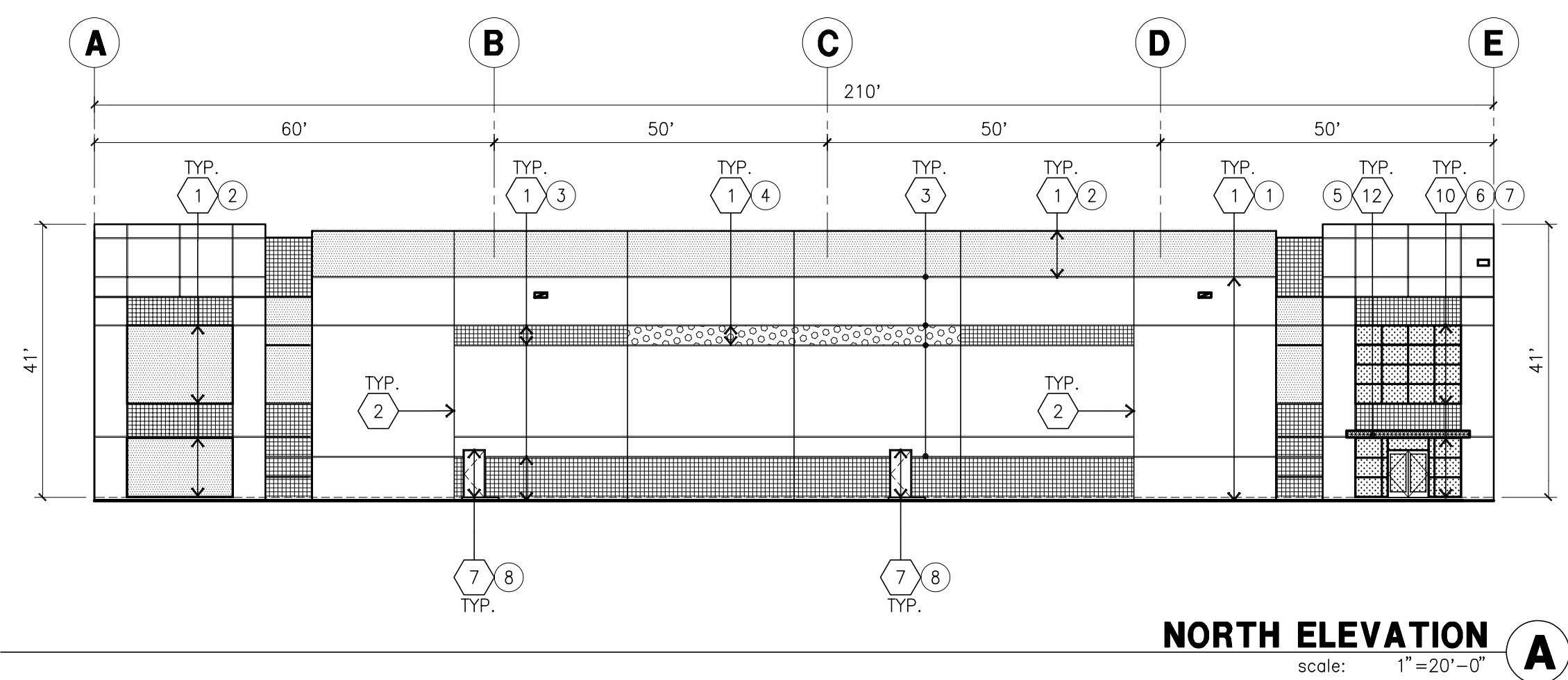
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Project Number: 16245.15
Drawn by: MD
Date: 11/13/2019

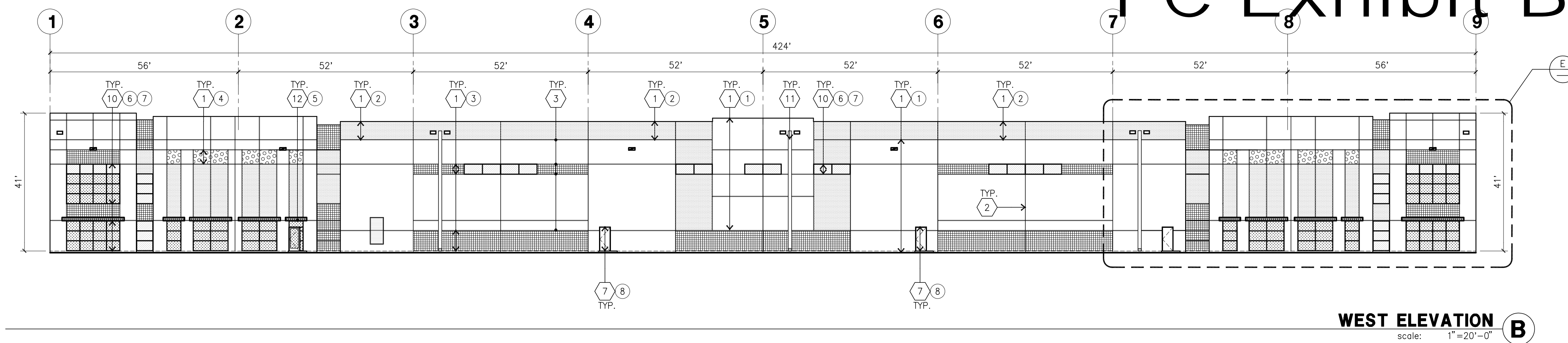
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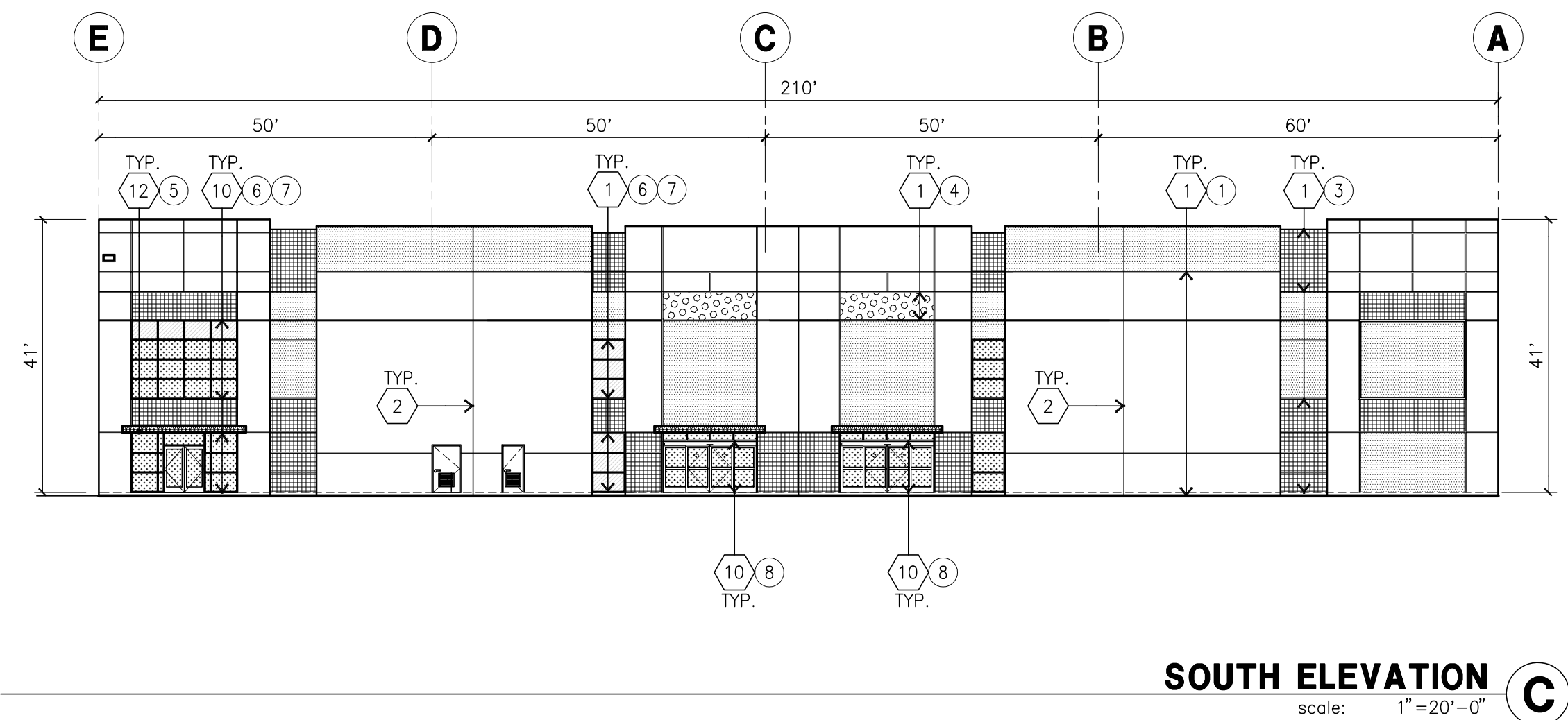
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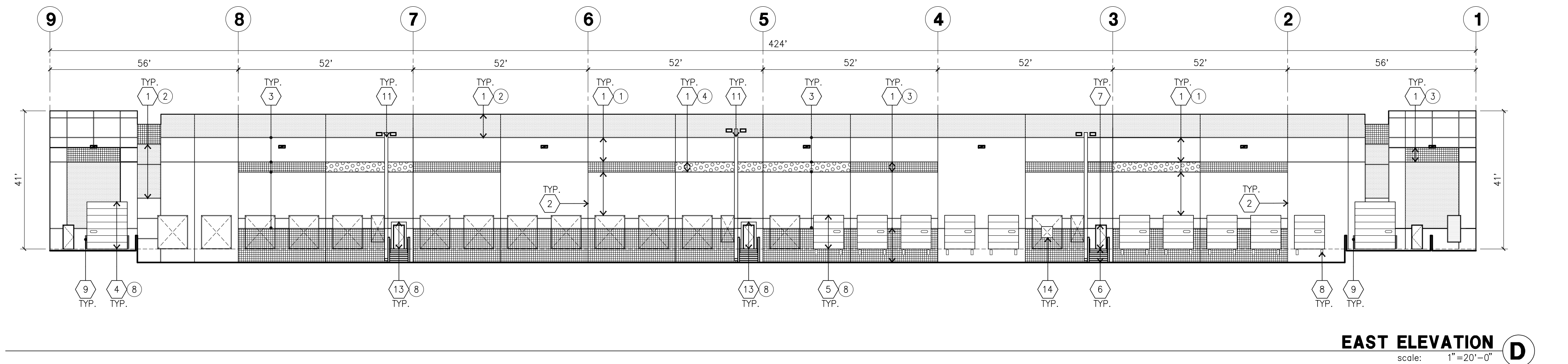
NORTH ELEVATION A
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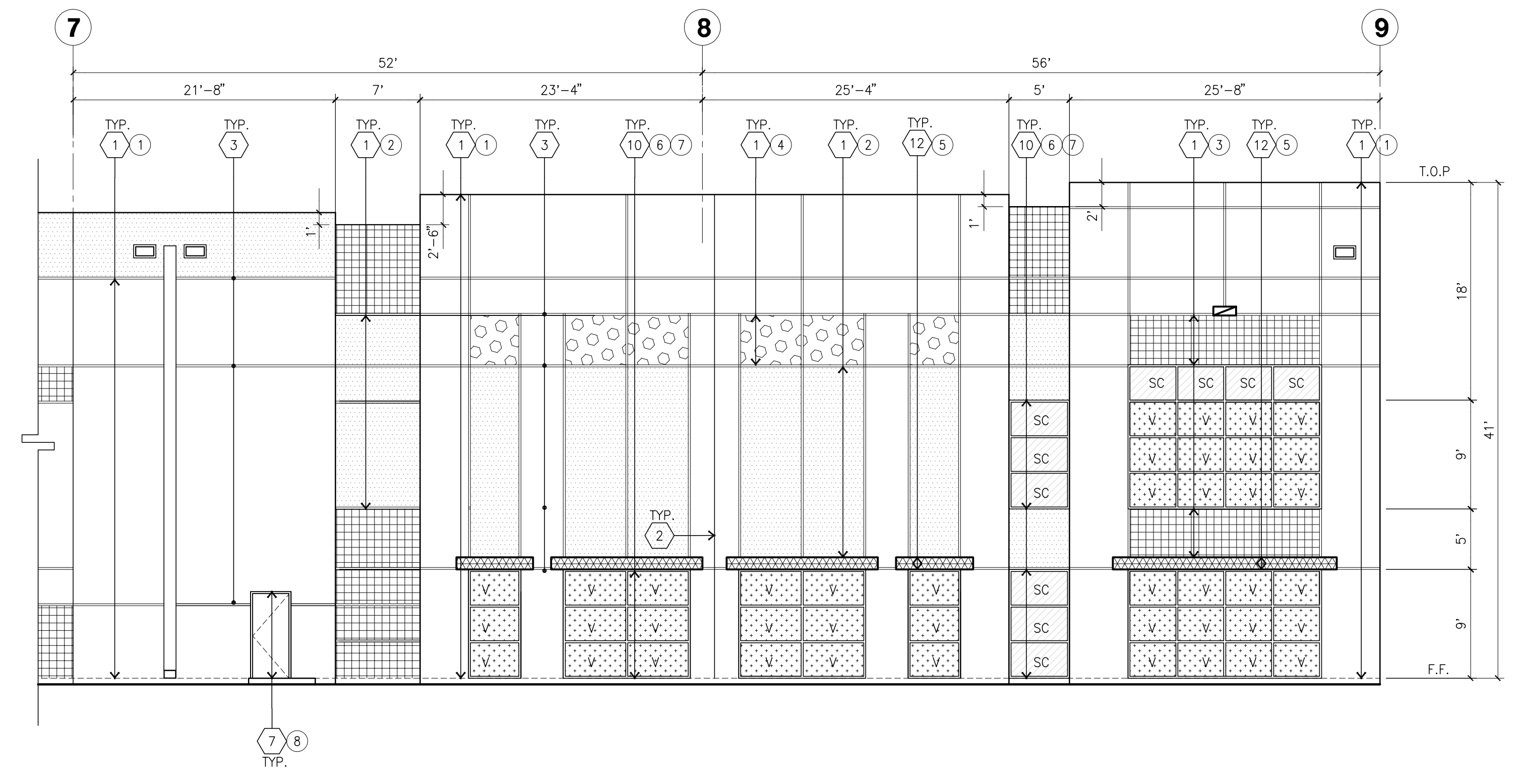
WEST ELEVATION B
scale: 1"=20'-0"



SOUTH ELEVATION C
scale: 1"=20'-0"



EAST ELEVATION D
scale: 1"=20'-0"



ENLARGED WEST ELEVATION E
scale: 1/8"=1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 12"W X 14"H OVERHEAD DOOR @ DRIVE THRU.
- 5 9'W X 10'H OVERHEAD DOOR @ DOCK HIGH.
- 6 STEEL STAIR W/ METAL PIPE HANDRAIL.
- 7 HOLLOW METAL DOORS.
- 8 DOCK BUMPER
- 9 CONC. FILLED STEEL BOLLARDS, SEE FLR. PLAN.
- 10 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING
- 11 EXTERIOR DOWNSPOUT AND 2 OVERFLOW SCUPPERS
- 12 METAL CANOPY
- 13 COOLER DOOR BY TENANT
- 14 COMPACTOR OPENING

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL.= TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE 1" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- I. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

COLOR SCHED. - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 6385 DOVER WHITE
- 2 CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 7058 MAGNETIC GRAY
- 3 CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 7673 PEWTER CAST
- 4 CONCRETE TILT-UP PANEL PAINT BRAND: SHERWIN WILLIAMS SW 6081 DOWN HOME
- 5 METAL CANOPY
COLOR: SHERWIN WILLIAMS SW 7006 EXTRA WHITE
- 6 MULLIONS
FINISH: CLEAR ANODIZED MULLIONS
- 7 GLAZING
COLOR: MED. PERFORMANCE BLUE GLAZING
- 8 DOORS
MAN DOORS: PAINT TO MATCH FIELD COLOR
DOCK DOORS AND DRIVE IN DOORS: FACTORY COLOR FINISHED WHITE

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
 - SC SPANDREL GLASS WITH CONCRETE BEHIND
 - S SPANDREL GLASS
- IV : INSULATED VISION GLASS
1/4" VISTACOOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.21 VLT: 26%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE,
INSTALLED ON CONCRETE.
- V : VISION GLASS
1/4" VISTACOOL PACIFICA
- S : SPANDREL
1/4" CLEAR WITH VISTACOOL PACIFICA OPACICOAT PAINTED ON REFLECTIVE,
INSTALLED ON OPENINGS.
- MULLIONS : ANODIZED CLEAR.

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Project:

Roseville 80

Roseville, CA

Consultants:

Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: OVERALL SITE PLAN

Project Number: 16245.15

Drawn by: MD

Date: 11/13/2019

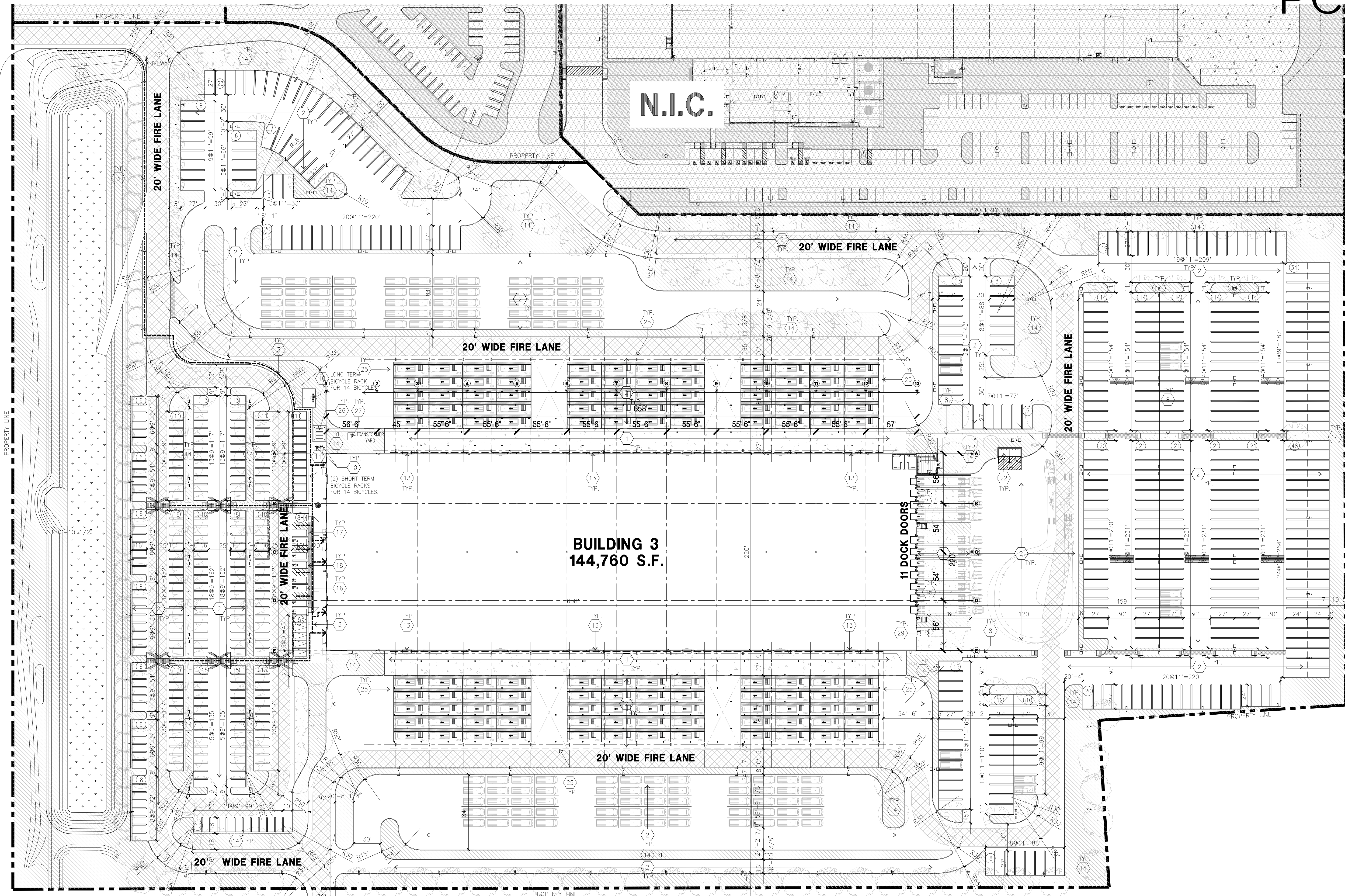
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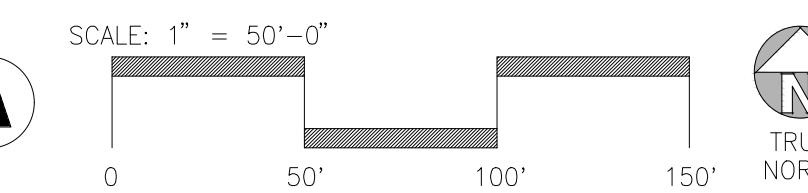
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PROJECT DATA

BLDG. 3	
SITE AREA	
In s.f.	1,164,547
In acres	26.73
BUILDING AREA	
Office	11,400
Warehouse	133,360
TOTAL	144,760
COVERAGE	12.4%
AUTO PARKING REQUIRED	
Office: 1/250 s.f.	n/a
Whse: 1/1,000 s.f.	145
TOTAL	145
AUTO PARKING PROVIDED	
Standard (9' x 18')	231
Clean air/ vanpool (9' x 16' + 2' Overhang)	6
EV parking (9' x 16' + 2' Overhang)	16
Accessible EV Van (9' x 18' + 8' Aisle)	1
Accessible Standard EV parking (9' x 18')	1
Van accessible parking (9' x 18' + 8' Aisle)	3
Accessible Standard parking (9' x 18')	4
Compact (8' x 16')	0
TOTAL	262
VAN PARKING PROVIDED	
Trailer (11' x 27')	436
BICYCLE PARKING REQUIRED	
TSM CalGreen short term - 5% of autos	14
Cal Green long term - 5% of autos	14
BICYCLE PARKING PROVIDED	
Short term - 5% of autos	14
Long term - 5% of autos	14
ZONING ORDINANCE FOR CITY	
Zoning Designation - Light Industrial (M-1)	
MAXIMUM BUILDING HEIGHT ALLOWED	
Height - 50'	
MAXIMUM FLOOR AREA RATIO	
FAR - 50	
LANDSCAPE REQUIREMENT	
Percentage - %	
SETBACKS	
Building	
Front - 100' Ave. Bldg.	
Side - 50'	
Rear - 60'	
Landscape	
50' from Foothills Blvd.	
15' from Union Pacific Rail road	
6' parking lot setback from adjacent properties	



OVERALL SITE PLAN A



SITE PLAN GENERAL NOTES

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE JUNE 7, 2019, PROJECT NUMBER #4103G
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAILS FOR TRANSFORMER PRIOR TO INSTALLATION.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
- ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

SITE PLAN LEGEND

- CONCRETE PAVING
- STANDARD PARKING STALL (9' X 16' + 2' OVERHANG)
- CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV (9' X 16' + 2' OVERHANG)
- CLEAN AIR/ VANPOOL/EV WITHOUT CONDUIT STUB FOR FUTURE EV (9' X 16' + 2' OVERHANG)
- LANDSCAPED AREA
- VAN PARKING (11' X 27')
- PEDESTRIAN CROSSING TABLE PER CIVIL DWG'S
- SPEED HUMP PER CIVIL DRAWING
- COMPACT PARKING STALL (8' X 14' + 2' OVERHANG)
- ACCESSIBLE PARKING STALL (9' X 18')
- ACCESSIBLE AISLE SEE DETAIL 11/AD.1
- ACCESSIBLE PARKING (VAN) STALL (9' X 18') + 8' W/ ACCESSIBLE AISLE
- PATH OF TRAVEL. MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2% CROSS SLOPE. SEE CIVIL FOR GRADING PLAN
- LIGHTING LOCATIONS REFER TO ELECTRICAL PHOTOMETRIC SITE PLAN
- LANDSCAPE REFER TO LANDSCAPE DRAWINGS

SITE PLAN KEYNOTES

- HEAVY BROOM FINISH CONCRETE PAVEMENT.
- CONCRETE PAVING
- ACCESSIBLE PATH OF TRAVEL
- DRIVEWAY APRONS
- 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" : 12" MAX. APPROXIMATE LOCATION OF TRANSFORMER.
- STORM TREATMENT SEE CIVIL
- CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- CONCRETE RAMP WITH CONCRETE GAIRD WALL
- BIKE RACK.
- FUTURE ELECTRIC VEHICLE CHARGER.
- EXTERIOR METAL STEEL STAIR.
- 10' X 10' GRADE DOOR
- LANDSCAPE.
- CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- PRE-CAST CONC. WHEEL STOP.
- TRUNCATED DOMES.
- ACCESSIBLE PARKING STALL SIGN.
- HARDSCAPE AT ENTRANCE.
- ACCESSIBLE ENTRY SIGN.
- FIRE CONTROL ROOM.
- TRASH ENCLOSURE.
- ELECTRICAL ROOM.
- SITE LIGHT POLE
- CANOPY ABOVE
- EMPLOYEE PICNIC SHELTER (SEPARATE SUBMITTALS)
- PROPOSED TRANSFORMER LOCATION
- NOT USED.
- TRASH COMPACTOR

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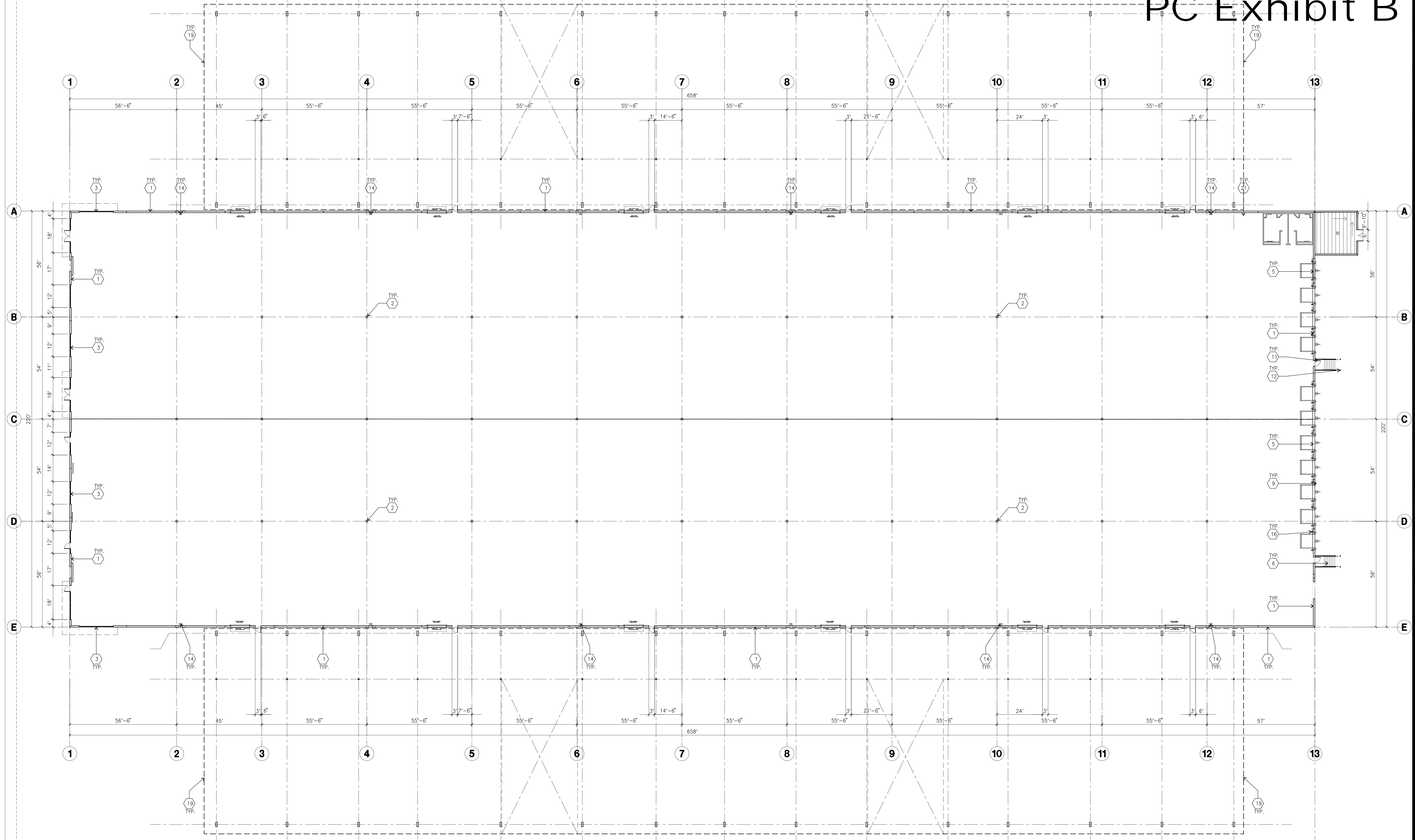
Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: OVERALL FLOOR PLAN

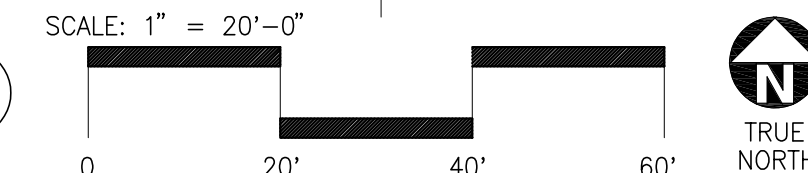
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Drawn by: MD
Date: 11/13/2019
Revision:

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OVERALL FLOOR PLAN
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KEYNOTES - FLOOR PLAN

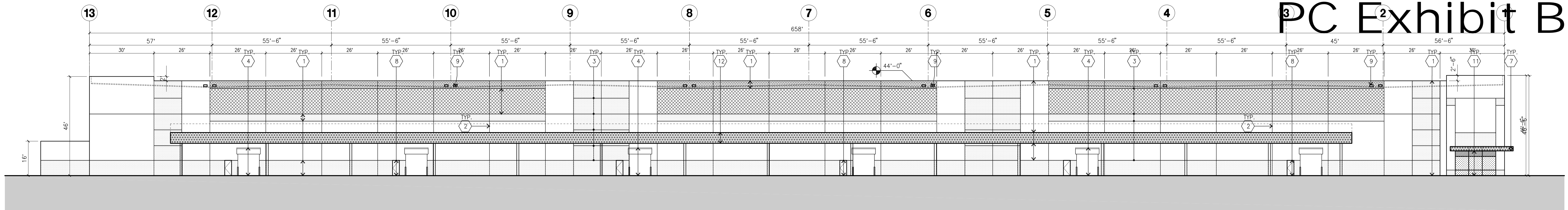
- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 NOT USED
- 5 9' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 NOT USED
- 8 NOT USED
- 9 DOCK DOOR BUMPER.
- 10 GRADE DOOR SEE ELEVATIONS.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 CONC. FILLED GUARD POST. 6" DIA. U.N.O., 48"H.
- 13 NOT USED
- 14 INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- 15 NOT USED
- 16 Z GUARD.
- 17 NOT USED
- 18 PROPOSED ELECTRICAL PANELS LOCATION.
- 19 METAL CANOPY ABOVE.
- 20 SOFFIT LINE ABOVE.
- 21 ROOF ACCESS LADDER.

GENERAL NOTES - FLOOR PLAN

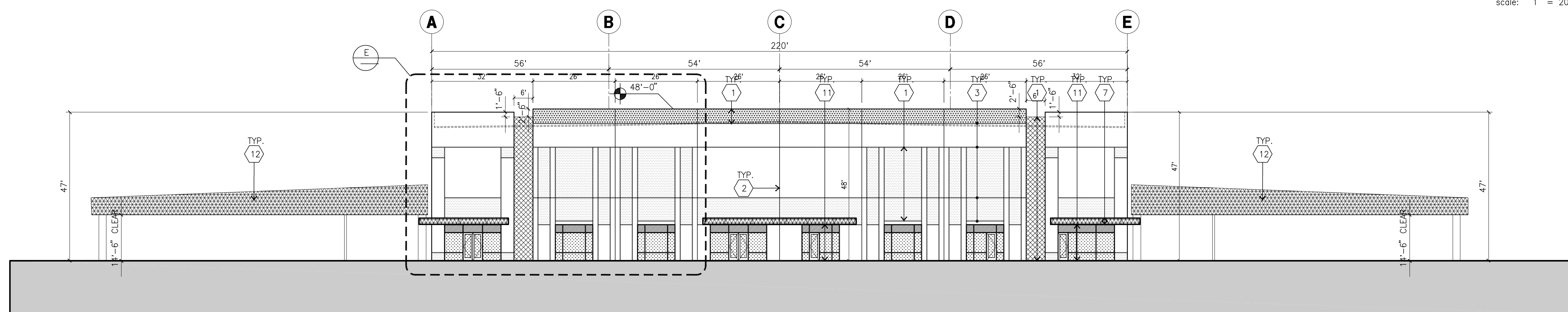
1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' +/- - A SEPARATE PERMIT WILL BE REQUIRED FOR ANY BACKING/CONCRETE SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH CBC TABLE 910.3
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
6. SLOPE FOUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRID LINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS, PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AS.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPHERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6.
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.

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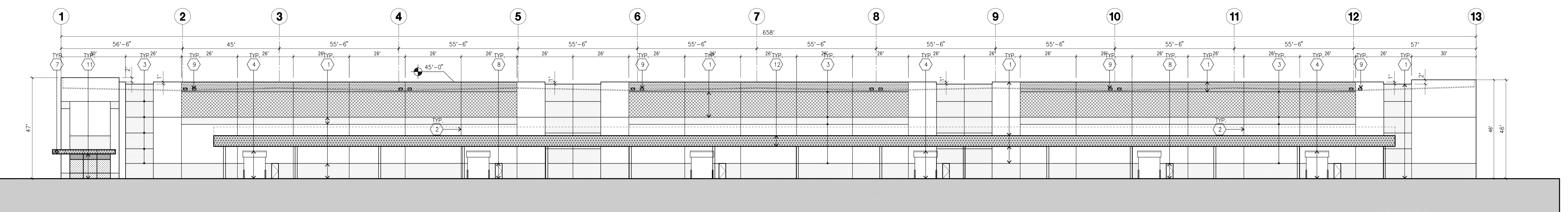
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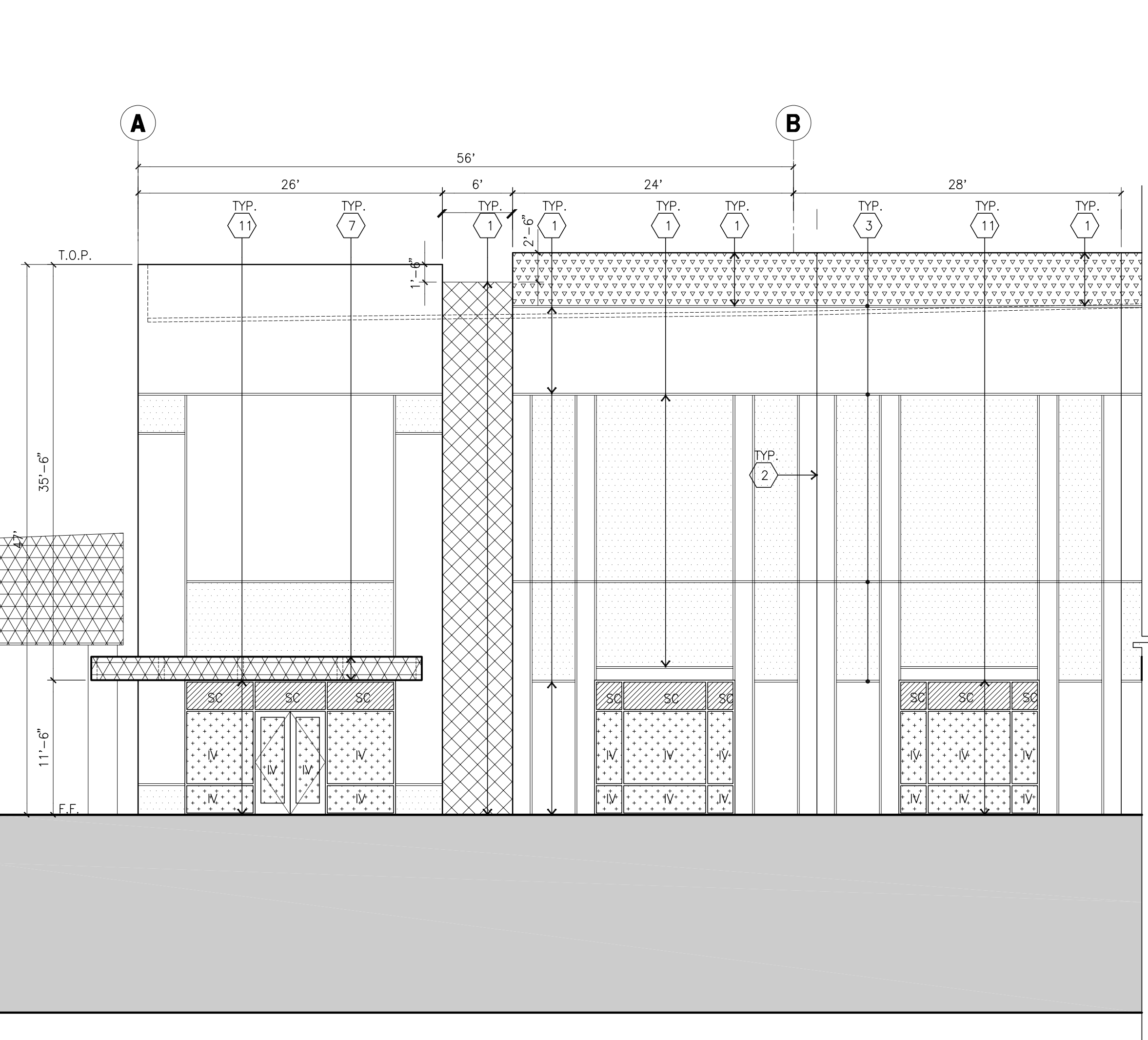
NORTH ELEVATION A
scale: 1" = 20'-0"



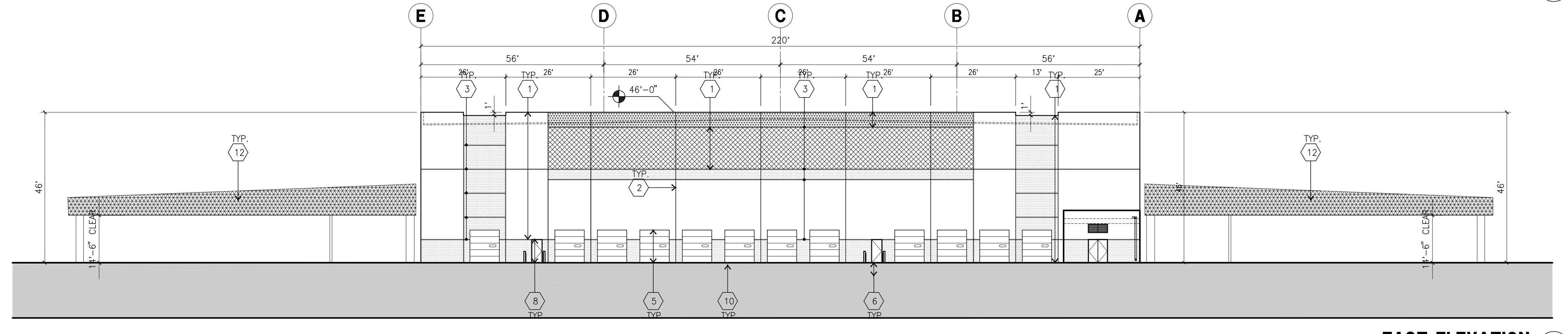
WEST ELEVATION B
scale: 1" = 20'-0"



SOUTH ELEVATION C
scale: 1" = 20'-0"



ENLARGED WEST ELEVATION E
scale: 1/8" = 1'-0"



EAST ELEVATION D
scale: 1" = 20'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES - SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 10W X 10H GRADE DOORS. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 9W X 10H OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 PAINTED TUBE STEEL CANOPY.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 OVERFLOW SCUPPERS.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 PAINTED METAL CANOPY (14'-6" CLEAR AND +/- 20'-0" TO 24'-0" TOP OF CANOPY)

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- I. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS, RAMPS AND RAILING TO MATCH BUILDING COLOR.
- M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL COLOR : SW 7006 EXTRA WHITE
- 2 CONCRETE TILT-UP PANEL COLOR : SW 7659 GRIS
- 3 CONCRETE TILT-UP PANEL COLOR : SW 6232 MISTY
- 4 CONCRETE TILT-UP PANEL COLOR : SW BLUE TBD
- 5 MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- 6 GLAZING COLOR : BLUE REFLECTIVE GLAZING
- 7 CANOPY MATERIAL : SW BLUE TBD
- 8 DOOR COLORS : MATCH BUILDING COLOR

GLAZING LEGEND

- NOTE: ALL EXTERIOR GLAZING SHALL BE TEMPERED.
- IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 80 CLEAR
 - I : INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.2 VLT: 26%
MINIMUM VT TO BE 0.42 PER 2015 CEC TABLE 140.3-B
 - SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICAT PAINTED ON REFLECTIVE
INSTALLED ON CONCRETE.

MULLIONS : CLEAR ANODIZED ALUMINUM #2



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Project:
Roseville 80
Roseville, CA

Consultants:
Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: ELEVATIONS

Project Number: 16245.15
Drawn by: MD
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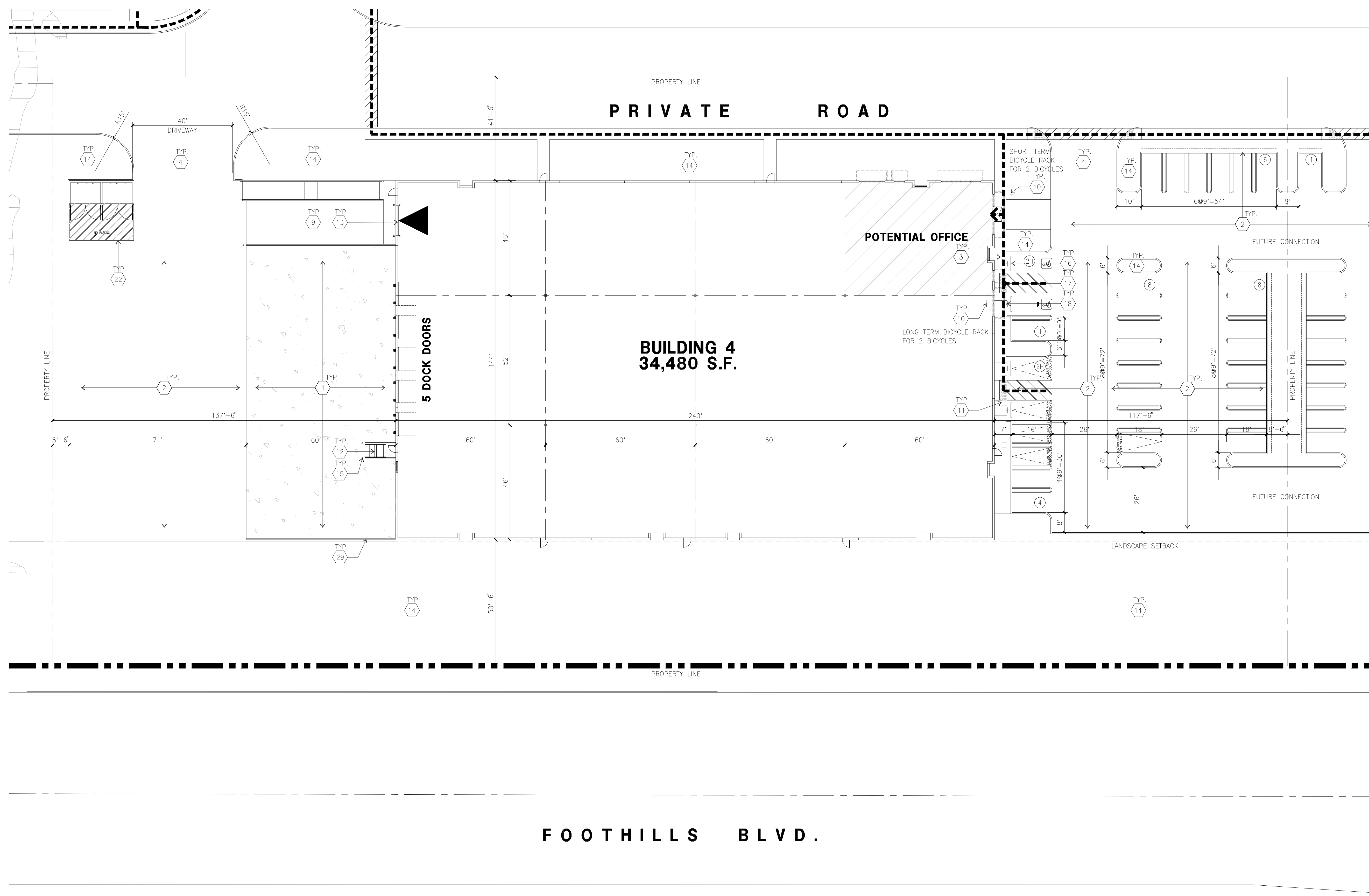
Consultants:
 Civil: Kimley Horn
 Structural:
 Mechanical:
 Plumbing:
 Electrical:
 Landscape: Vista Parks
 Fire Protection:
 Soils Engineer:

Title: OVERALL SITE PLAN

Project Number: 16245.15
 Drawn by: MD
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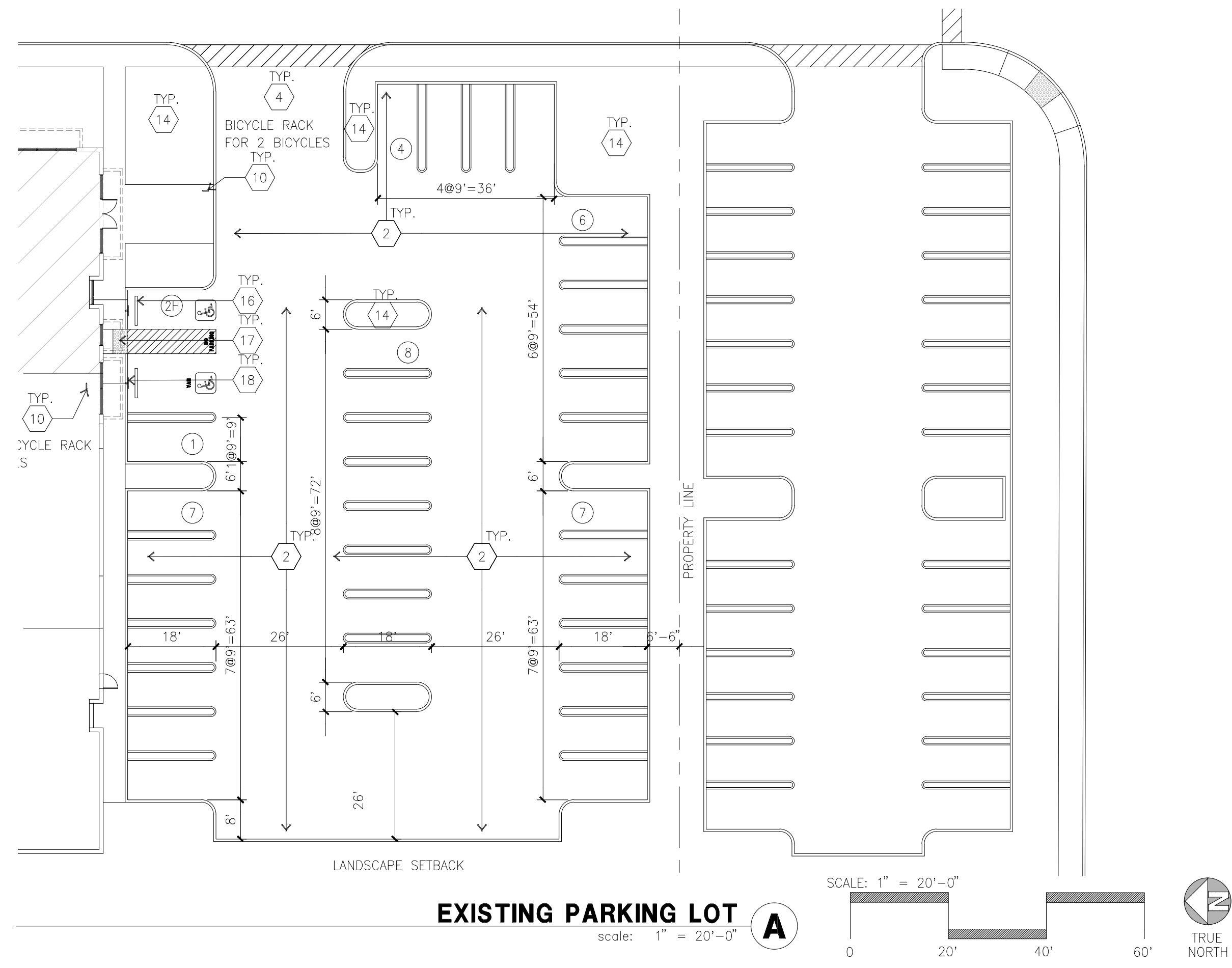
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SITE AREA			
In s.f.	116,826	s.f.	
In acres	2.68	acre	
BUILDING AREA			
Office	2,500	s.f.	
Warehouse	31,980	s.f.	
TOTAL	34,480	s.f.	
COVERAGE	29.5%		
AUTO PARKING REQUIRED			
Office: 1/250 s.f. (if exceed 10% of GFA)	n/a	stall	
Whse: 1/1,000 s.f.	34	stall	
TOTAL	34	stall	
AUTO PARKING PROVIDED			
Standard (9' x 18')	24	stall	
Clean air/ vanpool (9'x 16' +2' Overhang)	1	stall	
EV parking (9'x 16' +2' Overhang)	2	stall	
Accessible EV Van (9'x18'+8' Aisle)	1	stall	
Accessible Standard EV parking (9'x18')	1	stall	
Van accessible parking (9'x18'+8' Aisle)	1	stall	
Accessible Standard parking (9'x18')	1	stall	
Compact (8' x 16')	0	stall	
TOTAL	31	stall	
VAN PARKING PROVIDED			
Trailer (11' x 27')	0	stall	
BICYCLE PARKING REQUIRED			
TSW CalGreen short term - 5% of autos	2	stall	
Cal Green long term - 5% of autos	2	stall	
BICYCLE PARKING PROVIDED			
Short term - 5% of autos	2	stall	
Long term - 5% of autos	2	stall	
ZONING ORDINANCE FOR CITY			
Zoning Designation - Light Industrial (M-1)			
MAXIMUM BUILDING HEIGHT ALLOWED			
Height - 50'			
MAXIMUM FLOOR AREA RATIO			
FAR - .50			
LANDSCAPE REQUIREMENT			
Percentage - %			
SETBACKS			
Building			
Front - 100' Ave. Bldg.			
Side - 50'			
Rear - 60'			
Landscape			
50' from Foothills Blvd.			
15' from Union Pacific Rail road			
6' parking lot setback from adjacent properties			

OVERALL SITE PLAN A
 scale: 1" = 20'-0"
 SCALE: 1" = 20'-0"
 0 20' 40' 60'
 TRUE NORTH



EXISTING PARKING LOT A
 scale: 1" = 20'-0"
 0 20' 40' 60'
 TRUE NORTH

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
- 4 DRIVEWAY APRONS
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX. APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY
- 6 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT
- 7A 6" HIGH CHAIN LINK FENCE
- 7B 8" HIGH METAL FENCE
- 8 CONCRETE WALKWAY, MEDIUM BROOM FINISH. SEE "L" DRAWINGS.
- 9 CONCRETE RAMP WITH CONCRETE GUARD WALL. SEE "C" DRAWINGS.
- 10 BIKE RACK.
- 11 FUTURE ELECTRIC VEHICLE CHARGER.
- 12 EXTERIOR METAL STEEL STAIR.
- 13 12" x 14" DRIVE-IN DOOR
- 14 LANDSCAPE.
- 15 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- 16 PRE-CAST CONC. WHEEL STOP.
- 17 TRUNCATED DOMES.
- 18 ACCESSIBLE PARKING STALL SIGN.
- 19 HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- 20 ACCESSIBLE ENTRY SIGN.
- 21 PUMP ROOM.
- 22 TRASH ENCLOSURE.
- 23 ELECTRICAL ROOM.

SITE PLAN GENERAL NOTES

- 24 CONCRETE DOLLY PAD. SEE SITE PLAN FOR WIDTH AND "C" DRAWINGS.
 - 25 SMOKING AREA.
 - 26 NOT USED.
 - 27 EXTERIOR PARKING LIGHT POLE.
 - 28 STORM TREATMENT SEE CIVIL DRAWINGS
 - 29 SCREEN WALL.
- CONCRETE PAVING, SEE "C" DRWGS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 16' + 2' OVERHANG)
- CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV (9' X 16' + 2' OVERHANG)
- CLEAN AIR/ VANPOOL/EV WITHOUT CONDUIT STUB FOR FUTURE EV (9' X 16' + 2' OVERHANG)
- TRAILER PARKING (10' X 53')
- LANDSCAPED AREA
- NON-ACCESSIBLE PATH
- COMPACT PARKING STALL (8' X 14' + 2' OVERHANG)
- ACCESSIBLE PARKING STALL (9' X 18')
- ACCESSIBLE AISLE SEE DETAIL 11/AD.1
- ACCESSIBLE PARKING (VAN) STALL (9' X 18') + 8' W/ ACCESSIBLE AISLE
- PATH OF TRAVEL, MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEERS, DATE, PROJECT NUMBER #
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH
11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE



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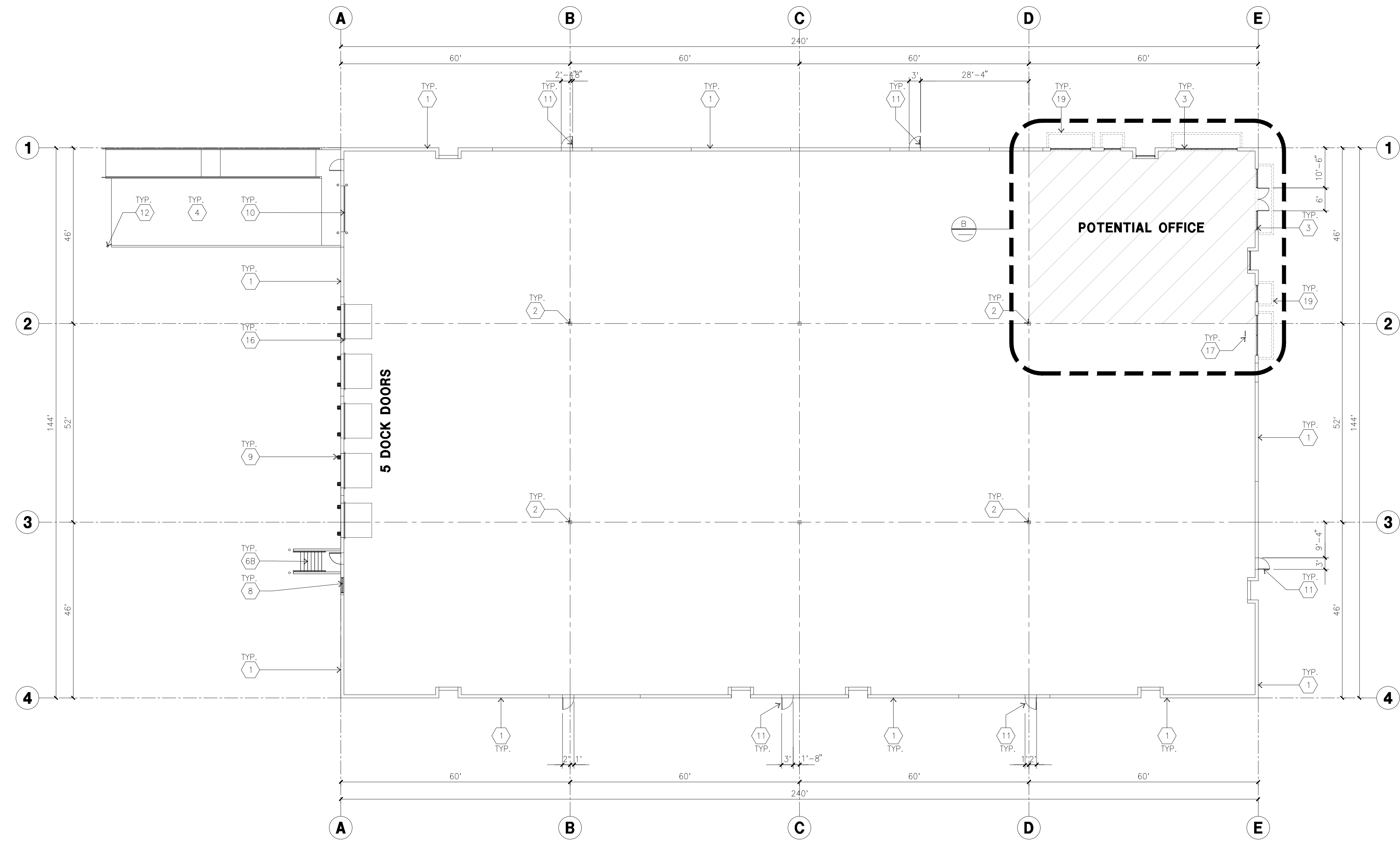
Consultants:
Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: **OVERALL FLOOR PLAN**

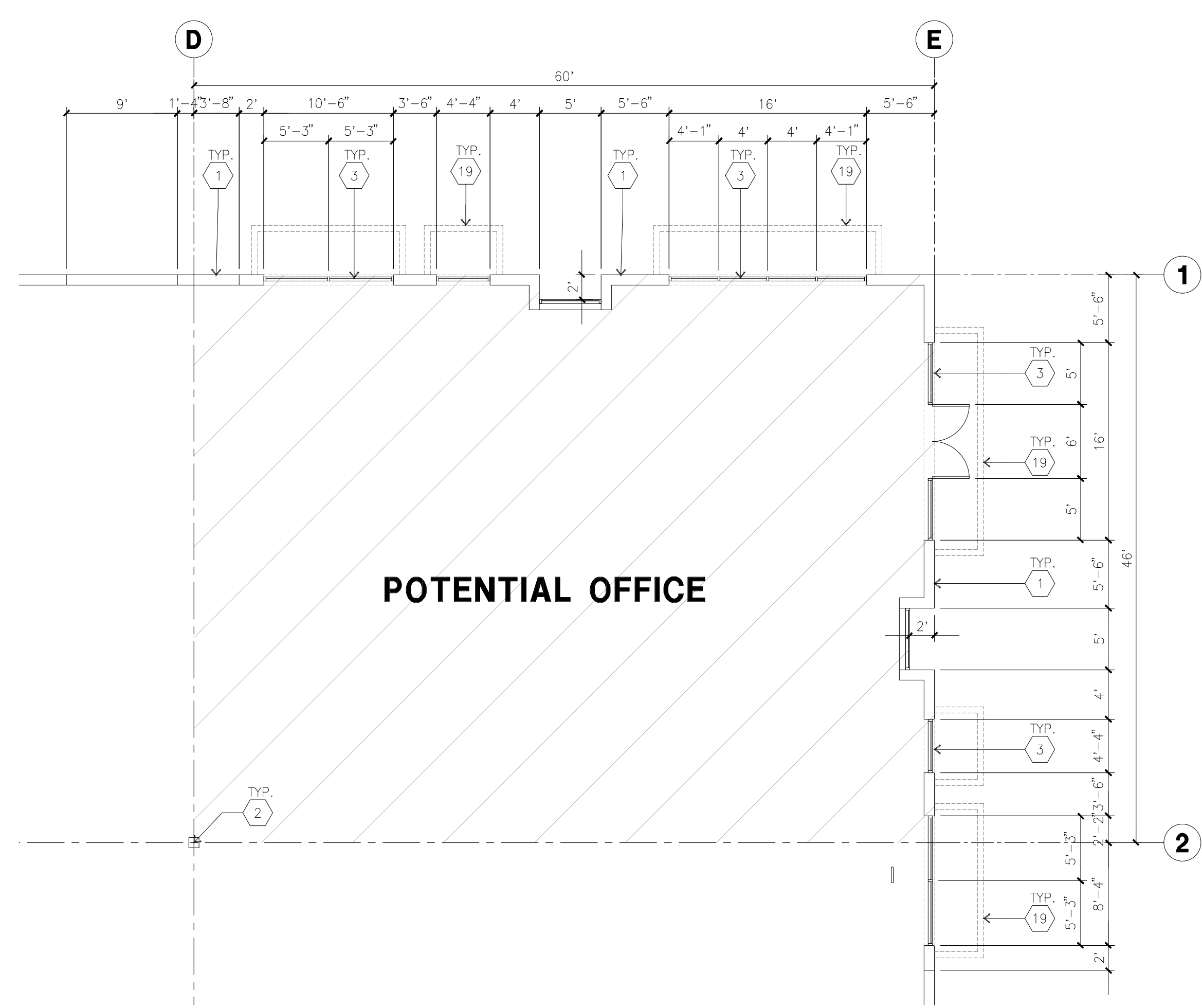
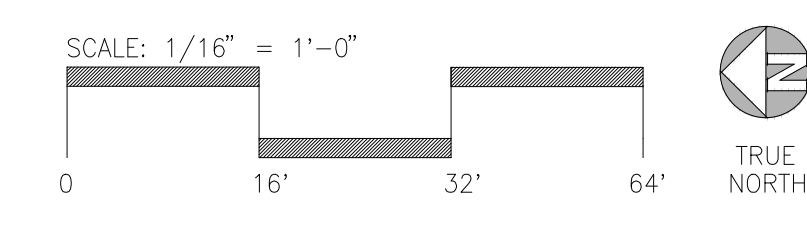
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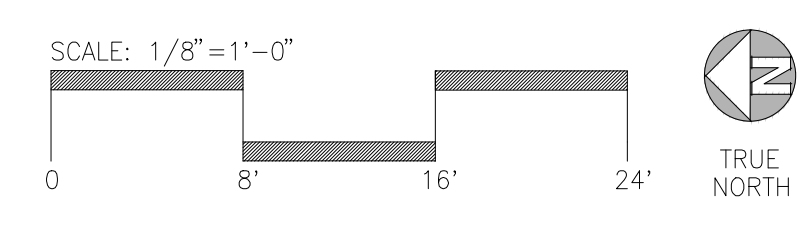
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OVERALL FLOOR PLAN
scale: 1/16" = 1'-0"



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"



KEYNOTES - FLOOR PLAN

- (1) CONCRETE TILT-UP PANEL.
- (2) STRUCTURAL STEEL COLUMN.
- (3) TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- (4) CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- (5) 9' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (6A) EXTERIOR METAL STEEL STAIR.
- (6B) EXTERIOR CONCRETE STAIR.
- (7) 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA, FINISH TO BE MEDIUM BLOOM FINISH, SLOPE TO BE 1/4" : 12" MAX.
- (8) 4' X 8' METAL LOUVER.
- (9) DOCK DOOR BUMPER.
- (10) 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (11) 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (12) CONC. FILLED GUARD POST, 6" DIA. U.N.O., 48"H.
- (13) EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- (14) INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- (15) INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- (16) Z GUARD.
- (17) INTERIOR BIKE RACK.
- (18) ELECTRICAL ROOM.
- (19) METAL CANOPY ABOVE.

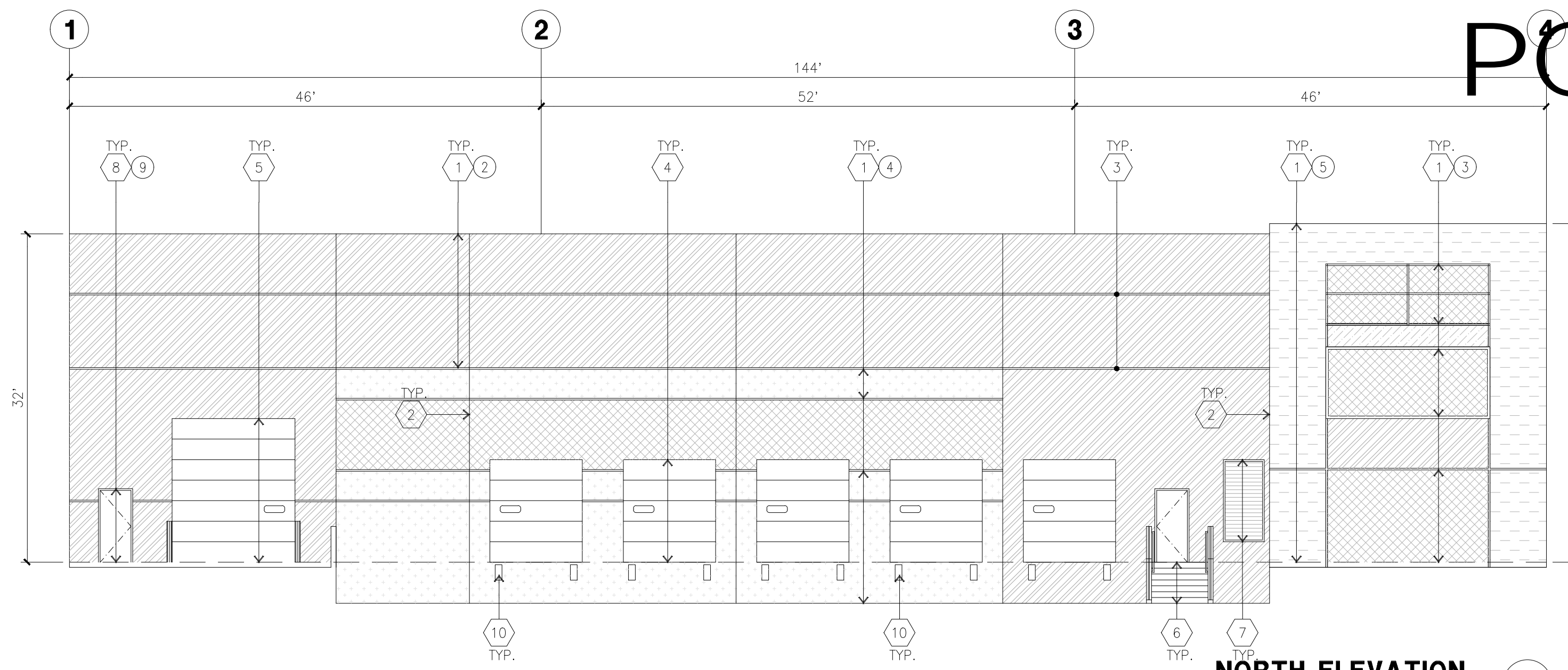
GENERAL NOTES - FLOOR PLAN

- 1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' +/-, A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS, INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 GBC.
- 2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- 3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- 4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- 5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
- 6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- 7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- 8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- 9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- 10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AS.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- 11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE BARRERED INCLUDING CARS AND TRUCKS.
- 12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
- 13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- 14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
- 15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- 16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 119-216.6
- 17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.

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KEY NOTES, ELEVATIONS



NORTH ELEVATION
scale: 1/10" = 1'-0"

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE 'C' DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 3" OF GRAVEL PROVIDING DRAINAGE AT BOTTOM AND DOWNSLOPE TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.C.
- 4 OVERHEAD DOOR @ DRIVE TELLER. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR. EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 9A NOT USED
- 9B NOT USED
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY

GENERAL NOTES - ELEVATIONS

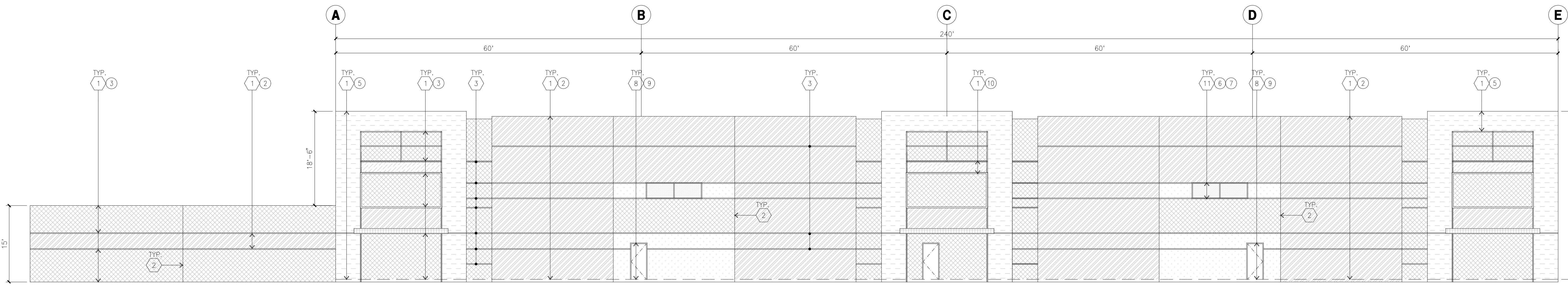
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEEDS. EXPOSURE #2 WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR.
- M. RAILINGS TO MATCH BUILDING COLOR.
- N. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

ELEVATION COLOR LEGEND/SCHED.

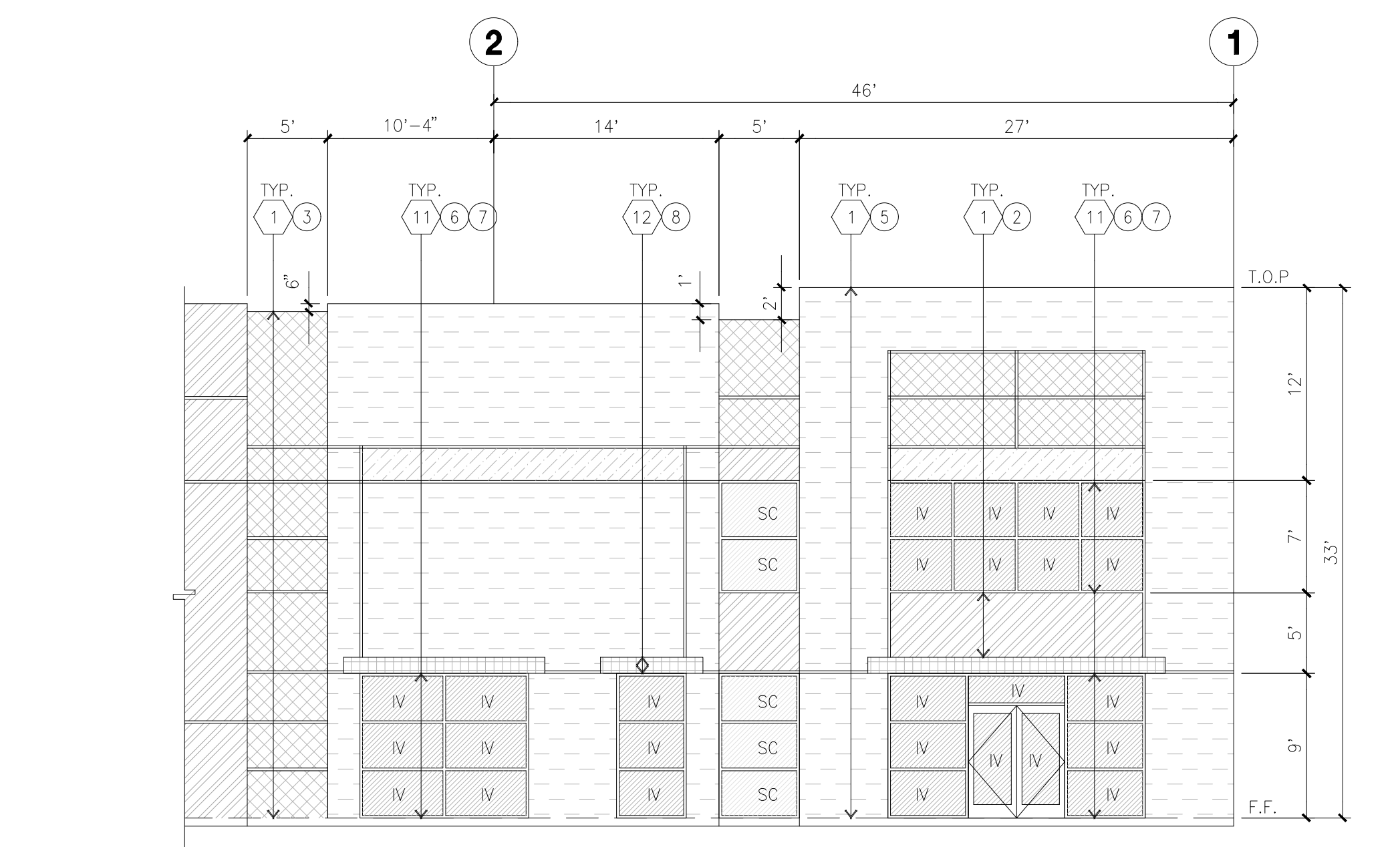
- 1 CONCRETE TILT-UP PANEL. COLOR : SW 706A EXTRA WHITE
- 2 CONCRETE TILT-UP PANEL. COLOR : SW 638S DOVER WHITE
- 3 CONCRETE TILT-UP PANEL. COLOR : SW 7058 MAGNETIC GRAY
- 4 CONCRETE TILT-UP PANEL. COLOR : SW 7673 PEWTER CAST
- 5 CONCRETE TILT-UP PANEL. COLOR : SW 7068 GRIZZLE GRAY
- 6 MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- 7 GLAZING COLOR : BLUE REFLECTIVE GLAZING
- 8 CANOPY MATERIAL : SHERWIN-WILLIAMS METALLICS TO MATCH FRAZEE 001 WHITE (CLEAR COAT)
- 9 DOOR COLORS : MATCH BUILDING COLOR
- 10 CONCRETE TILT-UP PANEL. COLOR : KM 4469-5 KIMONO

GLAZING LEGEND

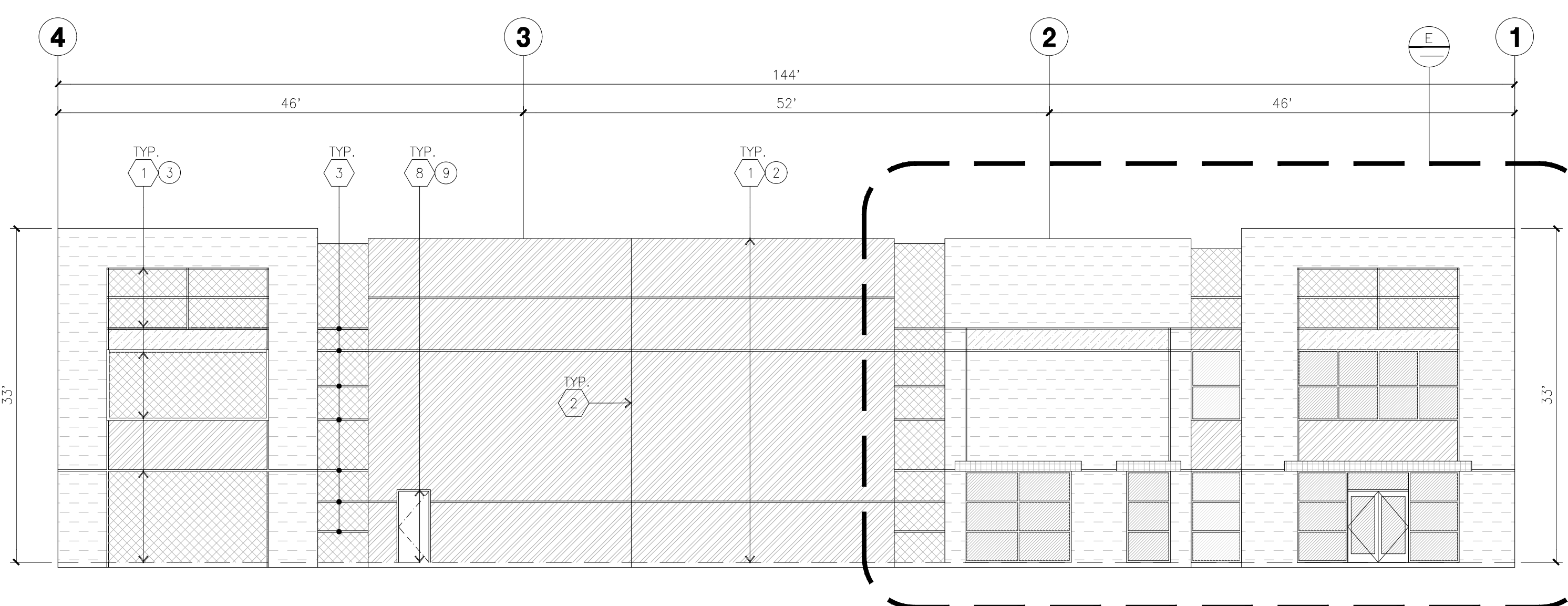
- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
 - SC SPANDREL GLASS WITH CONCRETE BEHIND
 - V SINGLE LITE VISION GLASS
- IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.37 SHGC: 0.24 WT: 26%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE.
- V : VISION GLASS
1/4" VISTACOL PACIFICA
MULLIONS : ANODIZED CLEAR.



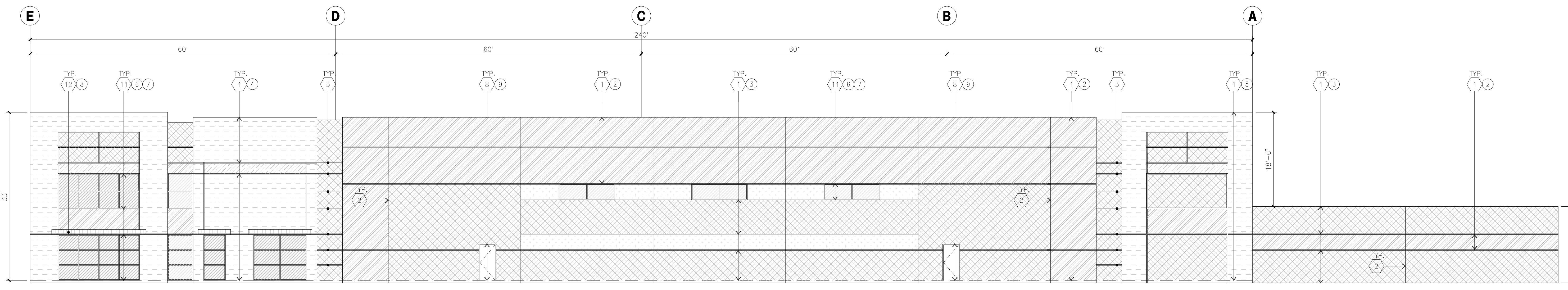
WEST ELEVATION
scale: 1/10" = 1'-0"



ENLARGED SOUTH ELEVATION
scale: 1/8" = 1'-0"



SOUTH ELEVATION
scale: 1/10" = 1'-0"



EAST ELEVATION
scale: 1/10" = 1'-0"



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Title: ELEVATION

Project Number: 16245.15
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Fire Protection:
Soils Engineer:

Title: OVERALL SITE PLAN

Project Number: 16245.15

Drawn by: MD

Date: 11/13/2019

Revision:

Sheet:

5-DAB-A1.1

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE, PROJECT NUMBER #
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION-FILLER MATERIAL OF 1/4" FINISH TO BE A MEDIUM BROOM FINISH
11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

SITE PLAN KEYNOTES

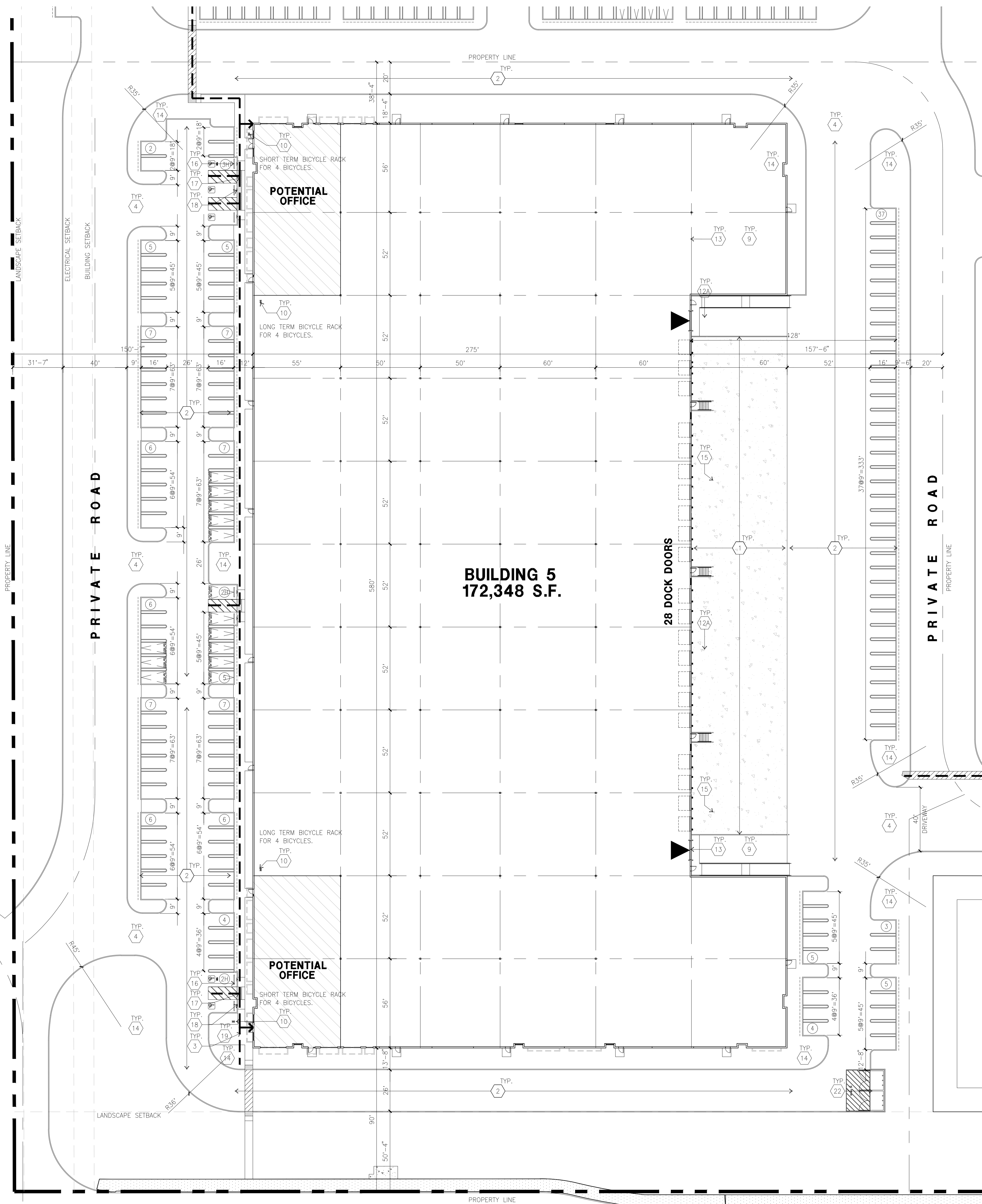
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- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
- 4 DRIVEWAY APRONS
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY
- 7A 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT
- 7B 6' HIGH CHAIN LINK FENCE
- 7C 8' HIGH METAL FENCE
- 8 CONCRETE WALKWAY, MEDIUM BROOM FINISH. SEE "L" DRAWINGS.
- 9 CONCRETE RAMP WITH CONCRETE GUARD WALL. SEE "C" DRAWINGS.
- 10 BIKE RACK.
- 11 FUTURE ELECTRIC VEHICLE CHARGER.
- 12 EXTERIOR METAL STEEL STAIR.
- 13 12' x 14" DRIVE-IN DOOR
- 14 LANDSCAPE.
- 15 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- 16 PRE-CAST CONC. WHEEL STOP.
- 17 TRUNCATED DOMES.
- 18 ACCESSIBLE PARKING STALL SIGN.
- 19 HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- 20 ACCESSIBLE ENTRY SIGN.
- 21 PUMP ROOM.
- 22 TRASH ENCLOSURE.
- 23 ELECTRICAL ROOM.
- 24 CONCRETE DOLLY PAD. SEE SITE PLAN FOR WIDTH AND "C" DRAWINGS.
- 25 SMOKING AREA.
- 26 NOT USED.
- 27 EXTERIOR PARKING LIGHT POLE.
- 28 STORM TREATMENT SEE CIVIL DRAWINGS
- 29 SCREEN WALL

PROJECT DATA

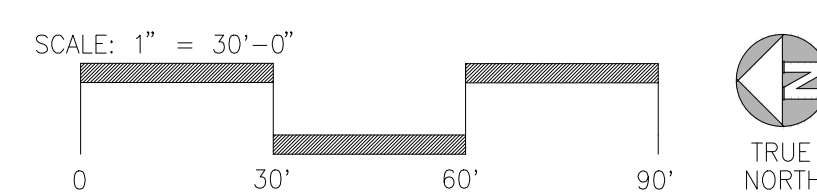
SITE AREA		BLDG. 5
In s.f.		407,331 s.f.
In acres		9.35 acre
BUILDING AREA		
Office		12,000 s.f.
Warehouse		160,348 s.f.
TOTAL		172,348 s.f.
COVERAGE		42.3%
AUTO PARKING REQUIRED		
Office: 1/250 s.f.		n/a stall
Whse: 1/1,000 s.f.		172 stall
TOTAL		172 stall
AUTO PARKING PROVIDED		
Standard (9' x 18')		123 stall
Clean air/ vanpool (9' x 16' +2' Overhang)		3 stall
EV parking (9' x 16' +2' Overhang)		9 stall
Accessible EV Van (9'x18'+8' Aisle)		1 stall
Accessible Standard EV parking (9'x18')		1 stall
Van accessible parking (9'x18'+8' Aisle)		2 stall
Accessible Standard parking (9'x18')		3 stall
Compact (8' x 16')		0 stall
TOTAL		142 stall
VAN PARKING PROVIDED		
Trailer (11' x 27')		0 stall
BICYCLE PARKING REQUIRED		
TSM CalGreen short term - 5% of autos		8 stall
Cal Green long term - 5% of autos		8 stall
BICYCLE PARKING PROVIDED		
Short term - 5% of autos		8 stall
Long term - 5% of autos		8 stall
ZONING ORDINANCE FOR CITY		
Zoning Designation - Light Industrial (M-1)		
MAXIMUM BUILDING HEIGHT ALLOWED		
Height - 50'		
MAXIMUM FLOOR AREA RATIO		
FAR - .50		
LANDSCAPE REQUIREMENT		
Percentage - %		
SETBACKS		
Building		
Front - 100' Ave. Bldg.		
Side - 50'		
Rear - 60'		
Landscape		
50' from Foothills Blvd.		
15' from Union Pacific Rail road		
6' parking lot setback from adjacent properties		

SITE PLAN GENERAL NOTES

- CONCRETE PAVING, SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 16' + 2' OVERHANG)
- CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV (9' X 16' + 2' OVERHANG)
- CLEAN AIR/ VANPOOL/EV WITHOUT CONDUIT STUB FOR FUTURE EV (9' X 16' + 2' OVERHANG)
- TRAILER PARKING (10' X 53')
- LANDSCAPED AREA
- NON-ACCESSIBLE PATH
- COMPACT PARKING STALL (8' X 14' + 2' OVERHANG)
- ACCESSIBLE PARKING STALL (9' X 18')
- ACCESSIBLE AISLE SEE DETAIL 11/AD.1
- ACCESSIBLE PARKING (VAN) STALL (9' X 18') + 8' W/ ACCESSIBLE AISLE
- PATH OF TRAVEL, MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS-SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN



OVERALL SITE PLAN
scale: 1" = 30'-0"



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Land North

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ph: (916) 379-1202

Project:

Roseville 80

Roseville, CA

Consultants:

Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: OVERALL FLOOR PLAN

Project Number: 16245.15

Drawn by: MD

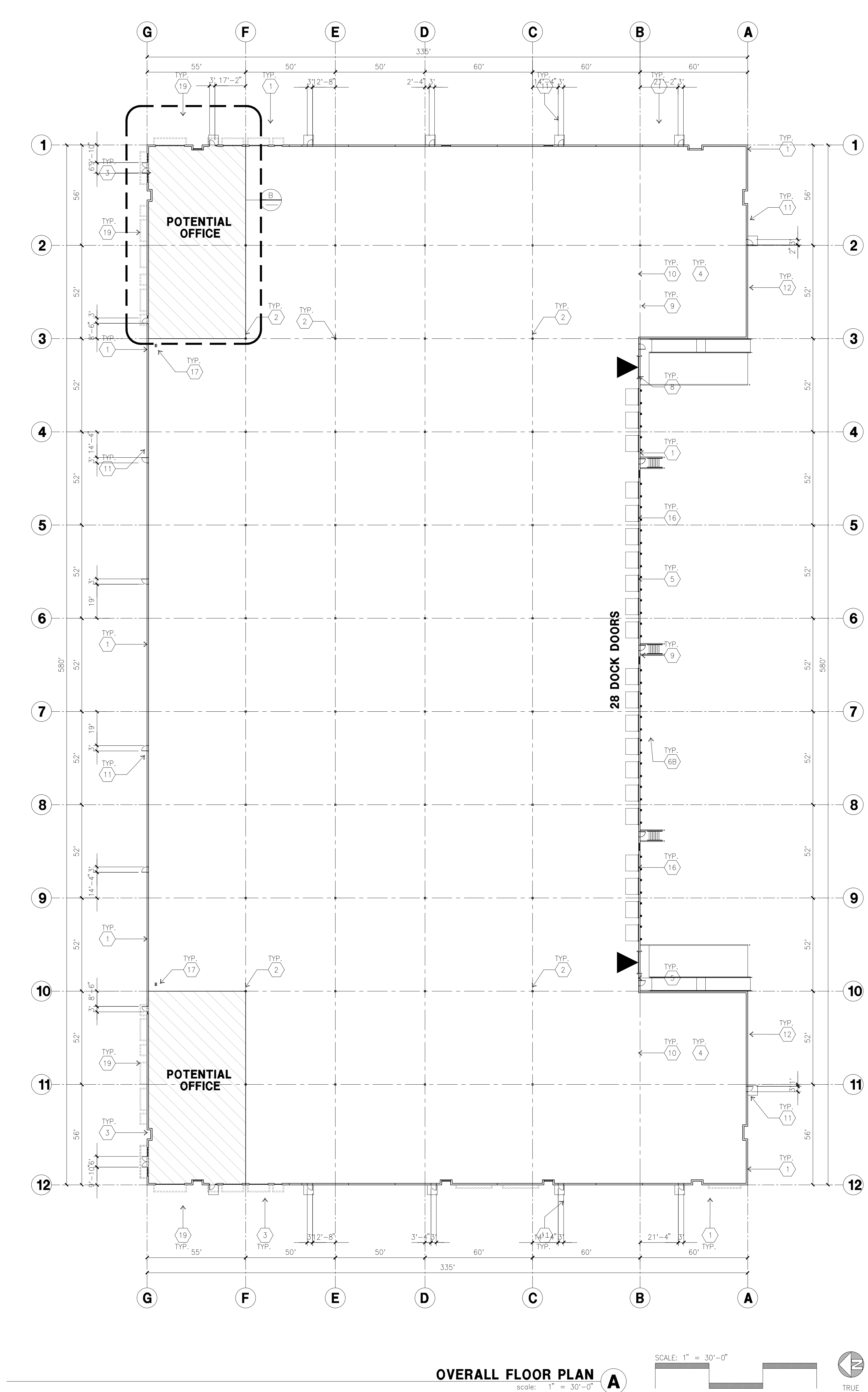
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Revision:

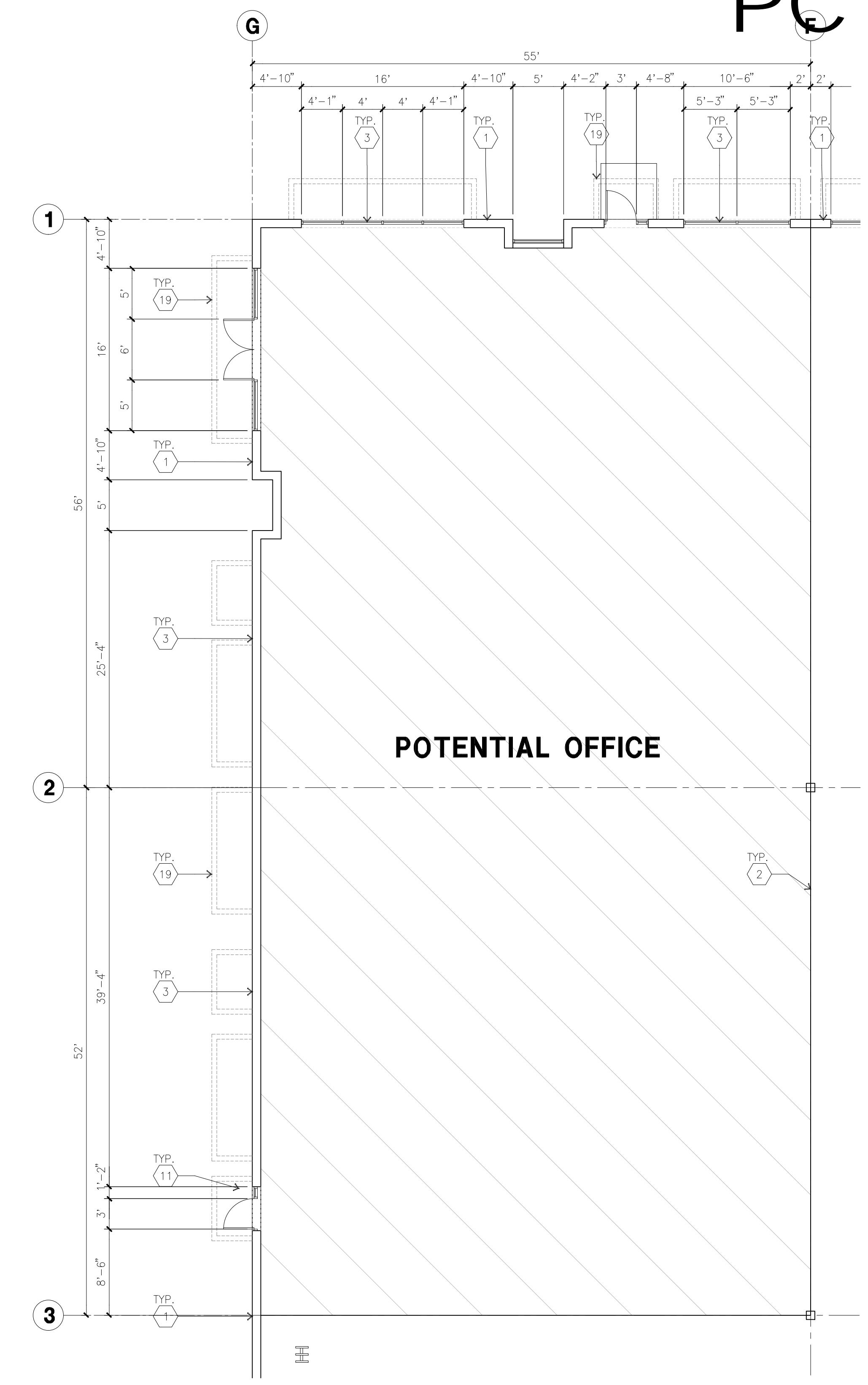
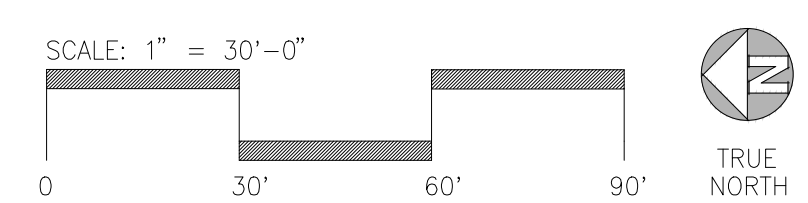
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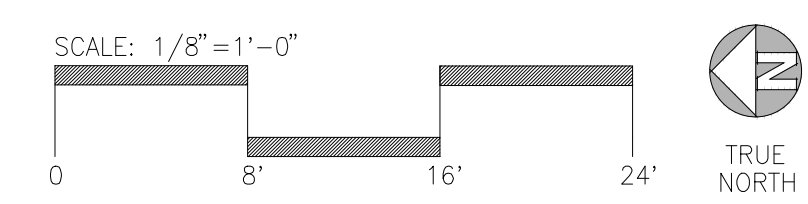
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OVERALL FLOOR PLAN A
scale: 1" = 30'-0"



ENLARGED FLOOR PLAN B
scale: 1/8" = 1'-0"



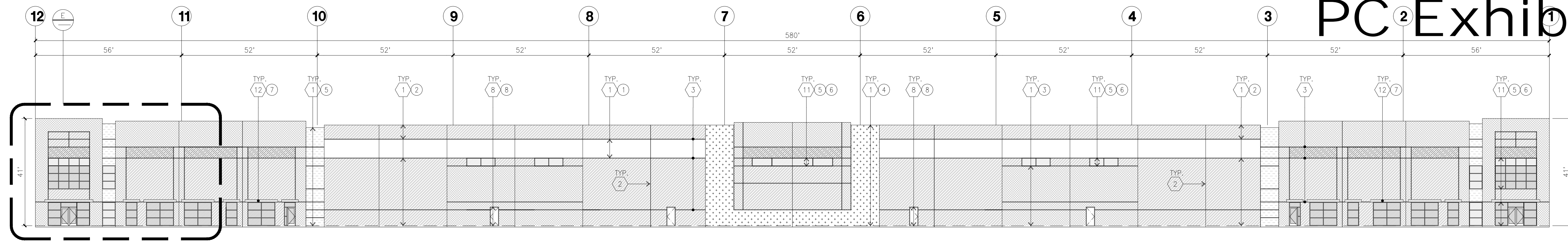
KEYNOTES - FLOOR PLAN

- (1) CONCRETE TILT-UP PANEL.
- (2) STRUCTURAL STEEL COLUMN.
- (3) TYPICAL STOREFRONT SYSTEM WITH GLAZING, SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- (4) CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- (5) 9' x 15' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (6) EXTERIOR METAL STEEL STAIR.
- (6A) EXTERIOR CONCRETE STAIR.
- (7) 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA, FINISH TO BE MEDIUM BLOOM FINISH, SLOPE TO BE 1/4" : 12' MAX.
- (8) 4'X8' METAL LOUVER.
- (9) DOCK DOOR BUMPER.
- (10) 12' x 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (11) 3' x 7' HOLLOW METAL EXTERIOR MAN DOOR, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (12) CONC. FILLED GUARD POST, 6" DIA. U.N.O., 48"H.
- (13) EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- (14) INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- (15) INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- (16) Z GUARD.
- (17) INTERIOR BIKE RACK.
- (18) ELECTRICAL ROOM.
- (19) METAL CANOPY ABOVE.

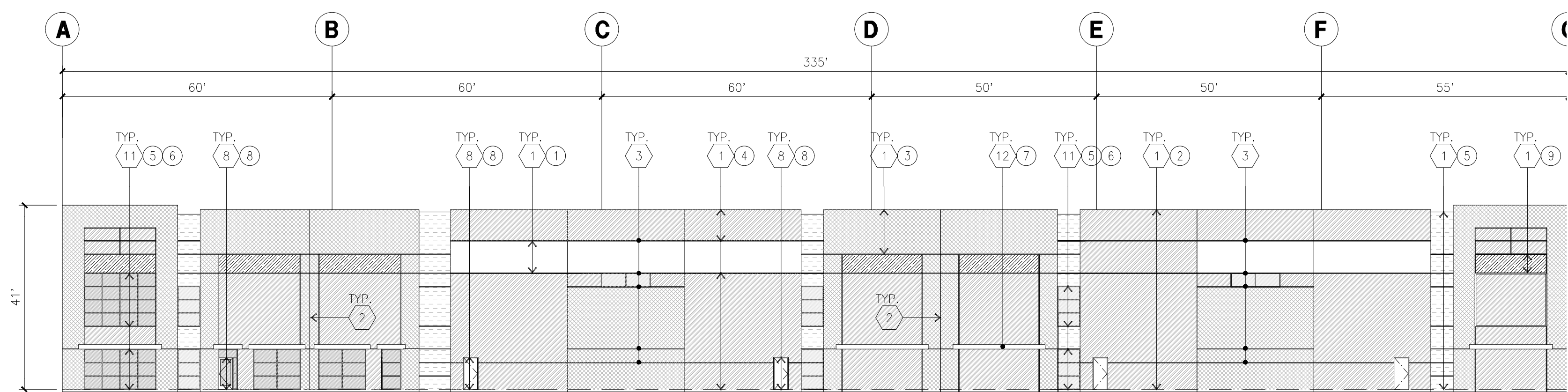
GENERAL NOTES - FLOOR PLAN

- 1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' +/-, A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS, INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
- 2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- 3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- 4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL CYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- 5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
- 6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- 7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- 8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- 9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES, CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- 10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- 11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- 12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
- 13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- 14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
- 15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT", THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- 16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6
- 17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.

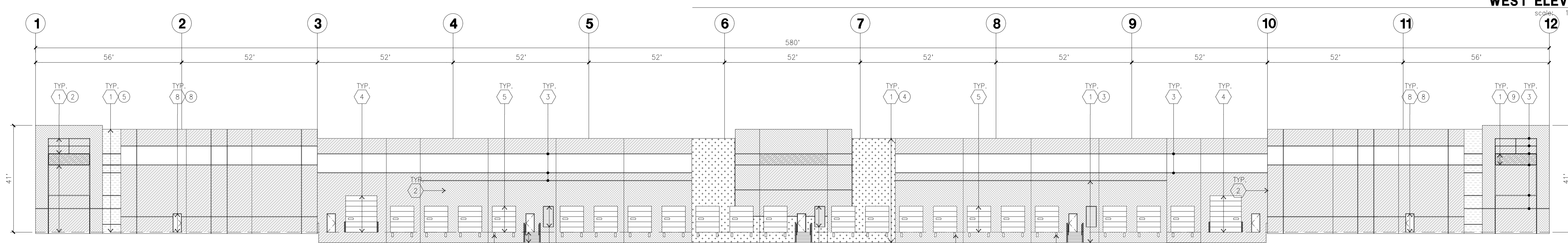
PC Exhibit B



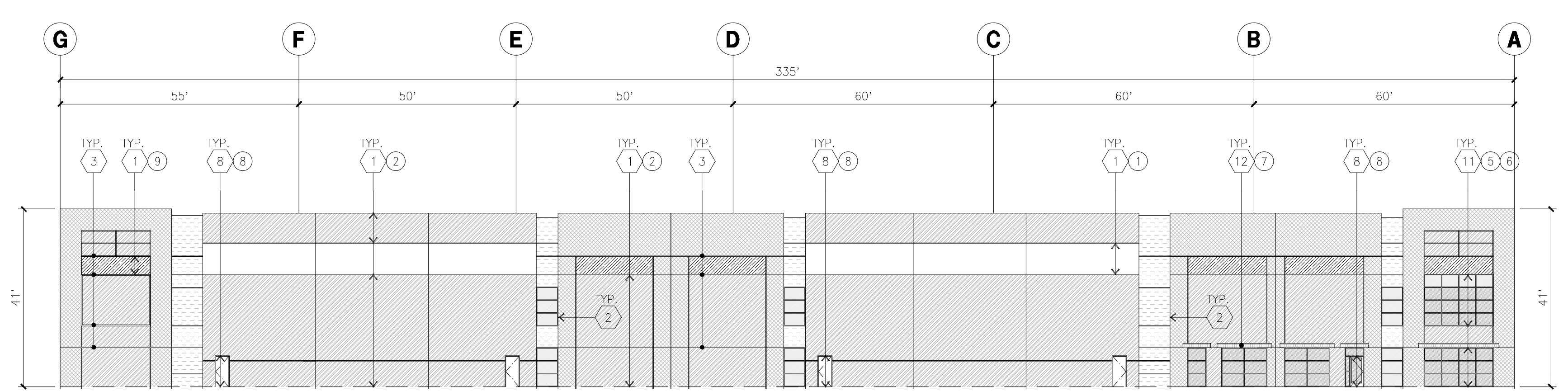
NORTH ELEVATION A
scale: 1" = 20'-0"



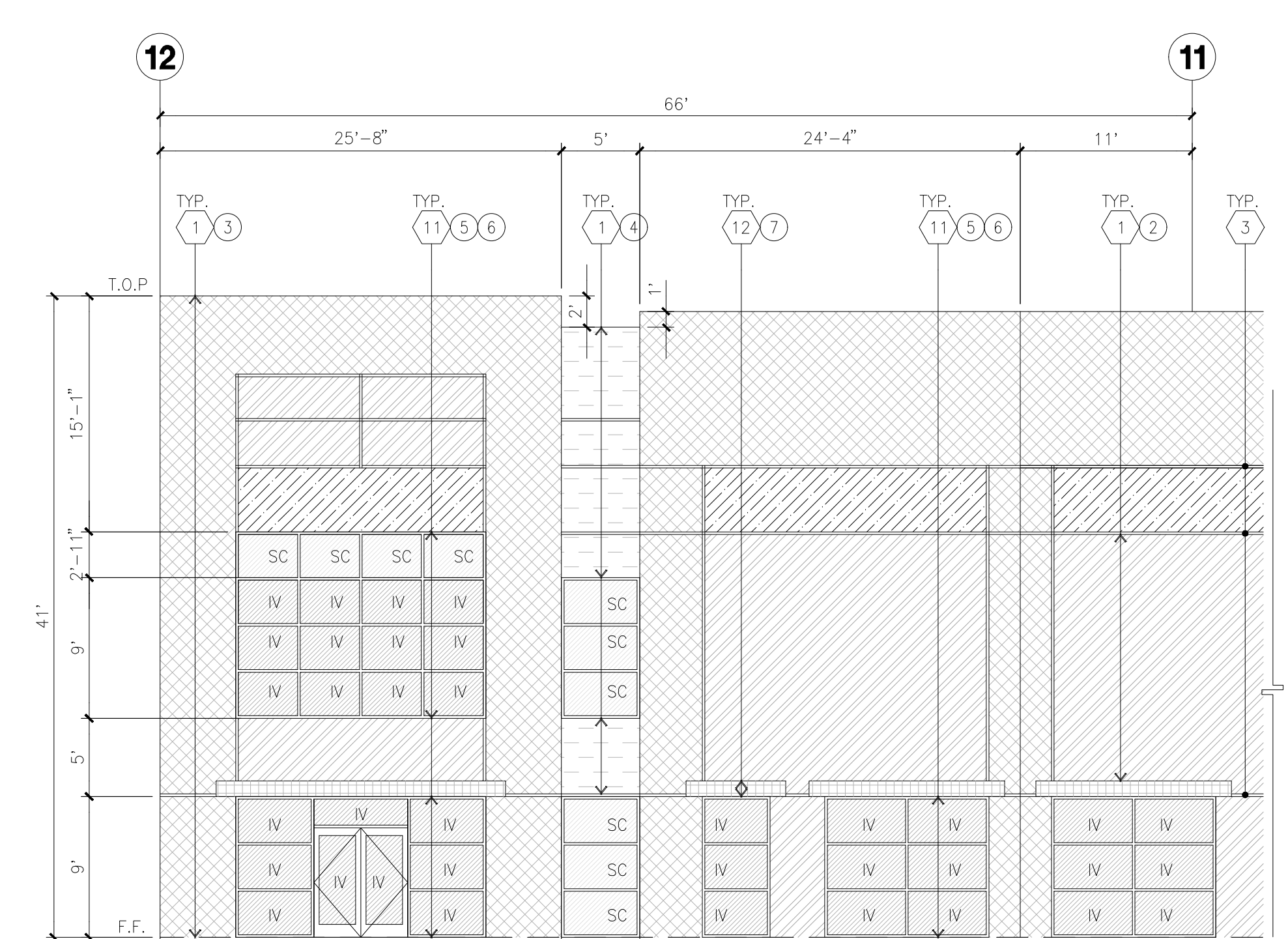
WEST ELEVATION B
scale: 1" = 20'-0"



SOUTH ELEVATION C
scale: 1" = 20'-0"



EAST ELEVATION D
scale: 1" = 20'-0"



ENLARGED NORTH ELEVATION E
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES - SEE DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL - ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU - PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH - PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9A EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 9B NOT USED.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. I.O.P. EL = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINET'S SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED. EXPOSURE TO BE DETERMINED BY ARCHITECT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMP TO MATCH BUILDING COLOR. RAILINGS TO MATCH BUILDING COLOR.
- M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV : INSULATED VISION GLASS
 - SC : SPANDREL WITH CONCRETE BEHIND
 - V : VISION GLASS
 - 1/4" VISTACOL PADFICA
 - MULLIONS : ANODIZED CLEAR.
 - 1/4" VISTACOL PADFICA + 1/4" SOLARBAL 60 CLEAR
 - 1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
 - U. 0.27 SHGC 0.21 AET 285
 - MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
 - SC : SPANDREL WITH CONCRETE BEHIND
 - 1/4" VISTACOL PADFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE. INSTALLED ON CONCRETE.
 - V : VISION GLASS
 - 1/4" VISTACOL PADFICA
 - MULLIONS : ANODIZED CLEAR.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL. COLOR : SW 7006 EXTRA WHITE
- 2 CONCRETE TILT-UP PANEL. COLOR : SW 6385 DOVER WHITE
- 3 CONCRETE TILT-UP PANEL. COLOR : SW 7058 MAGNETIC GRAY
- 4 CONCRETE TILT-UP PANEL. COLOR : SW 7673 PEWTER CAST
- 5 CONCRETE TILT-UP PANEL. COLOR : SW 7068 GRIZZLE GRAY
- 6 MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- 7 GLAZING COLOR : BLUE REFLECTIVE GLAZING
- 8 CANOPY MATERIAL : SHERWIN-WILLIAMS METALLICS TO MATCH FRAZEE 001 WHITE (CLEAR COAT)
- 9 DOOR COLORS : MATCH BUILDING COLOR
- 10 CONCRETE TILT-UP PANEL. COLOR : KM 4988-5 PASSIONATE BLUEBERRY



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Land North**
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Sacramento, CA 95826
ph: (916) 379-1202

Project:
Roseville 80
Roseville, CA

Consultants:
Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: ELEVATION

Project Number: 16245.15
Drawn by: MD
Date: 11/13/2019
Revision:

Sheet:

5-DAB-A3.1

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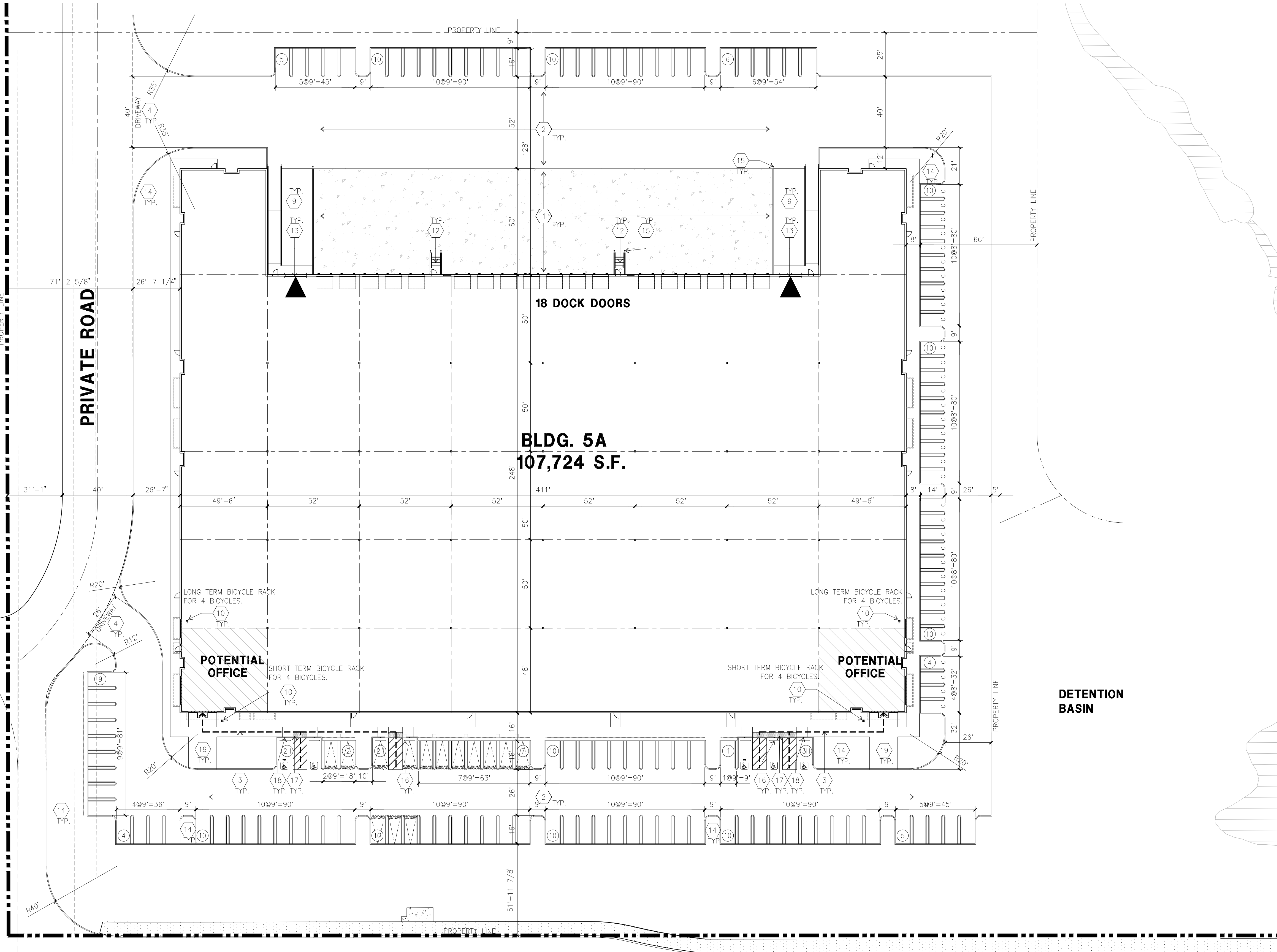
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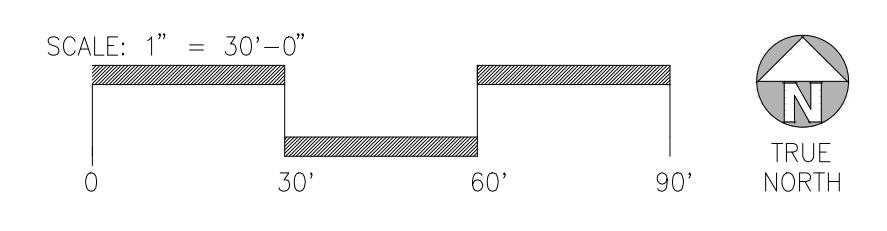


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fax: 949-863-0851
email: hpa@hparchs.com

BLDG. 5A	
SITE AREA	
In s.f.	292,857 s.f.
In acres	6.72 acre
BUILDING AREA	
Office	3,000 s.f.
Warehouse	104,724 s.f.
TOTAL	107,724 s.f.
COVERAGE	36.8%
AUTO PARKING REQUIRED	
Office: 1/250 s.f.	n/a stall
Whse: 1/1,000 s.f.	108 stall
TOTAL	108 stall
AUTO PARKING PROVIDED	
Standard (9' x 18')	97 stall
Clean air/ vanpool (9' x 16' +2' Overhang)	3 stall
EV parking (9' x 16' +2' Overhang)	9 stall
Accessible EV Van (9'x18'+8' Aisle)	1 stall
Accessible Standard EV parking (9'x18')	1 stall
Van accessible parking (9'x18'+8' Aisle)	2 stall
Accessible Standard parking (9'x18')	3 stall
Compact (8' x 16')	34 stall
TOTAL	150 stall
VAN PARKING PROVIDED	
Trailer (11' x 27')	0 stall
BICYCLE PARKING REQUIRED	
TSM CalGreen short term - 5% of autos	8 stall
Cal Green long term - 5% of autos	8 stall
BICYCLE PARKING PROVIDED	
Short term - 5% of autos	8 stall
Long term - 5% of autos	8 stall
ZONING ORDINANCE FOR CITY	
Zoning Designation - Light Industrial (M-1)	
MAXIMUM BUILDING HEIGHT ALLOWED	
Height - 50'	
MAXIMUM FLOOR AREA RATIO	
FAR - .50	
LANDSCAPE REQUIREMENT	
Percentage - %	
SETBACKS	
Building	
Front - 100' Ave. Bldg.	
Side - 50'	
Rear - 60'	
Landscape	
50' from Foothills Blvd.	
15' from Union Pacific Rail road	
6' parking lot setback from adjacent properties	



OVERALL SITE PLAN A
scale: 1" = 30'-0"



SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
- 4 DRIVEWAY APRONS
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
- 6 APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY
- 7A 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT
- 7B 6" HIGH CHAIN LINK FENCE
- 7C 8" HIGH METAL FENCE
- 8 CONCRETE WALKWAY, MEDIUM BROOM FINISH. SEE "L" DRAWINGS.
- 9 CONCRETE RAMP WITH CONCRETE GUARD WALL. SEE "C" DRAWINGS.
- 10 BIKE RACK.
- 11 FUTURE ELECTRIC VEHICLE CHARGER.
- 12 EXTERIOR METAL STEEL STAIR.
- 13 12' x 14' DRIVE-IN DOOR
- 14 LANDSCAPE.
- 15 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- 16 PRE-CAST CONC. WHEEL STOP.
- 17 TRUNCATED DOME.
- 18 ACCESSIBLE PARKING STALL SIGN.
- 19 HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- 20 ACCESSIBLE ENTRY SIGN.
- 21 PUMP ROOM.
- 22 TRASH ENCLOSURE.
- 23 ELECTRICAL ROOM.

- 24 CONCRETE DOLLY PAD. SEE SITE PLAN FOR WIDTH AND "C" DRAWINGS.
- 25 SMOKING AREA.
- 26 NOT USED.
- 27 EXTERIOR PARKING LIGHT POLE.
- 28 STORM TREATMENT SEE CIVIL DRAWINGS
- 29 SCREEN WALL

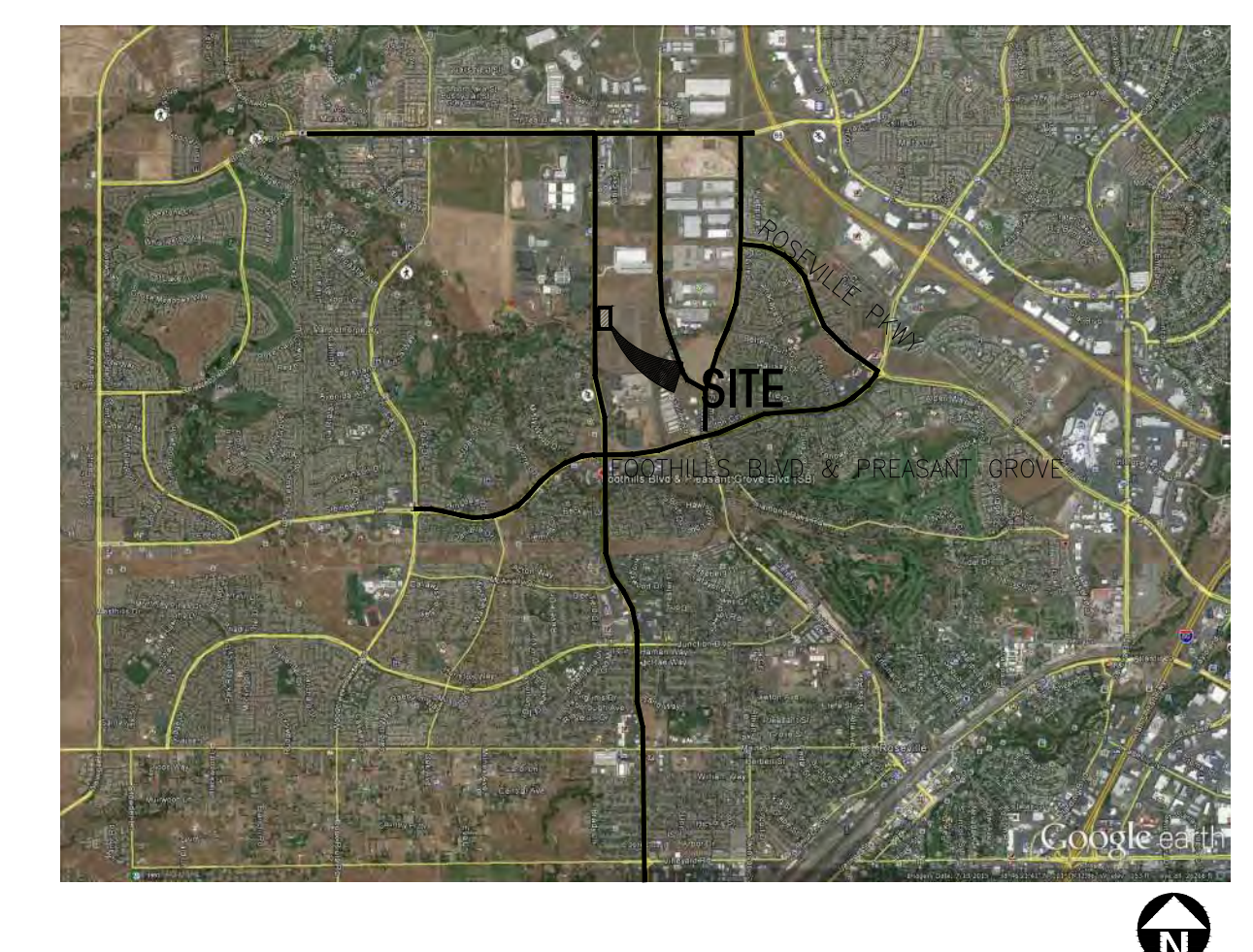
SITE PLAN GENERAL NOTES

- CONCRETE PAVING. SEE "C" DRWGS. FOR THICKNESS
- COMPACT PARKING STALL (8' x 14' + 2' OVERHANG)
- STANDARD PARKING STALL (9' x 16' + 2' OVERHANG)
- ACCESSIBLE PARKING STALL (9' x 18') ACCESSIBLE AISLE SEE DETAIL 11/AD.1
- CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV (9' x 16' + 2' OVERHANG)
- CLEAN AIR/ VANPOOL/EV WITHOUT CONDUIT STUB FOR FUTURE EV (9' x 16' + 2' OVERHANG)
- ACCESSIBLE PARKING (VAN) STALL (9' x 18') + 8' W/ ACCESSIBLE AISLE
- TRAILER PARKING (10' x 53')
- LANDSCAPED AREA
- NON-ACCESSIBLE PATH
- PATH OF TRAVEL MINIMUM WIDTH- TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEO TECHNICAL ENGINEER. DATE PROJECT NUMBER #
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
11. U.N.O. PROVIDE KNOX BOXES TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
13. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
14. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
15. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

VICINITY MAP



Owner:
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Land North
8775 Folsom Blvd, #200
Sacramento, CA 95826
ph: (916) 379-1202

Project:
Roseville 80

Roseville, CA

Consultants:

- Civil: Kimley Horn
- Structural:
- Mechanical:
- Plumbing:
- Electrical:
- Landscape: Vista Parks
- Fire Protection:
- Soils Engineer:

Title: SITE PLAN

Project Number: 16245.15
Drawn by: MD
Date: 11/13/2019

Revision:

Sheet:

5A-DAB-A1.1

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PC Exhibit B



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Project:
Roseville 80

Roseville, CA

Consultants:

Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: FLOOR PLAN

Project Number: 16245.15
Drawn by: MD
Date: 11/13/2019
Revision:

Sheet:

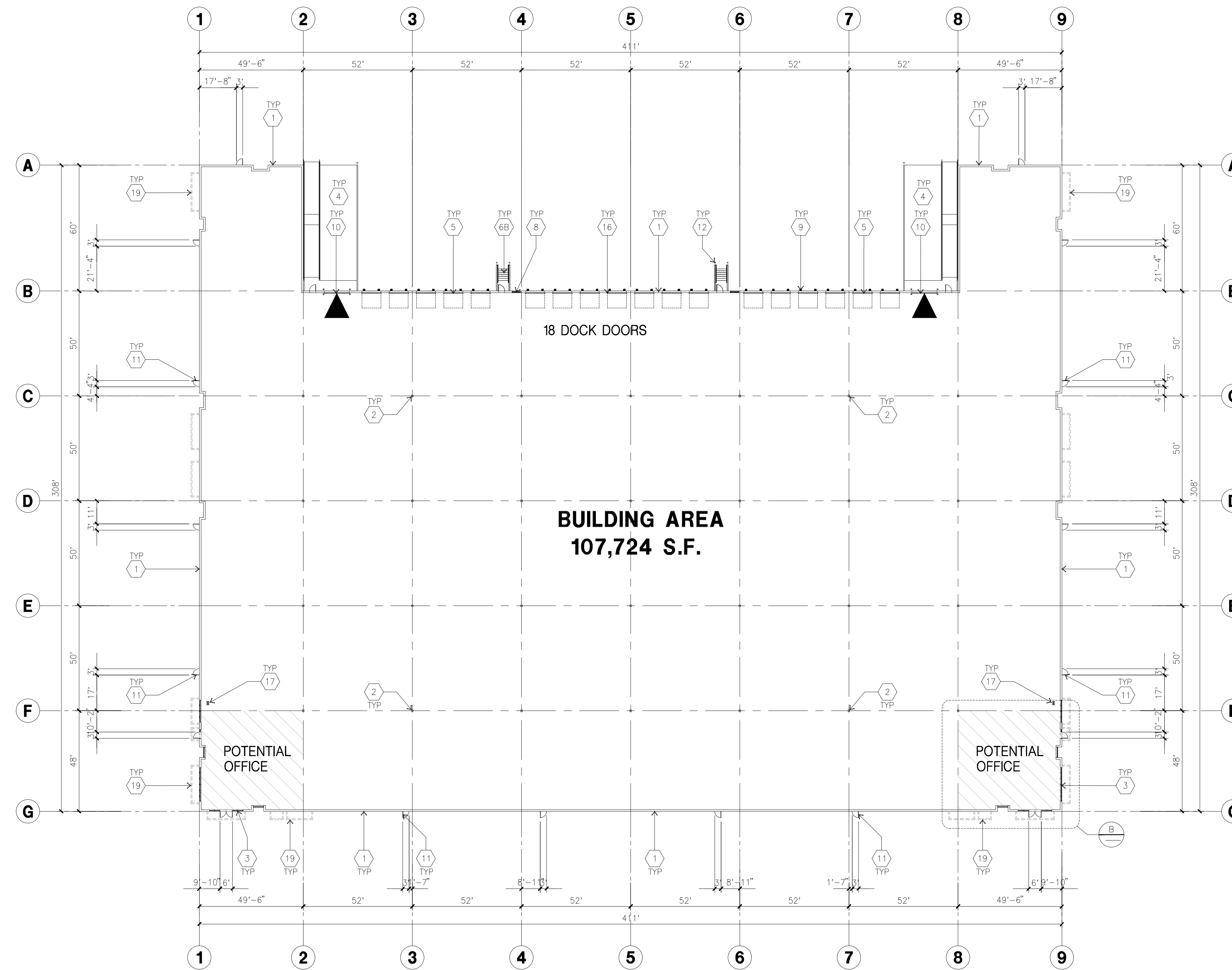
5A-DAB-A2.1

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 5 9' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 6A EXTERIOR METAL STEEL STAIR.
- 6B EXTERIOR CONCRETE STAIR.
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX.
- 8 4'X8' METAL LOUVER.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 12 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 48"H.
- 13 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 14 INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- 15 INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- 16 Z GUARD.
- 17 INTERIOR BIKE RACK.
- 18 ELECTRICAL ROOM.
- 19 METAL CANOPY ABOVE.

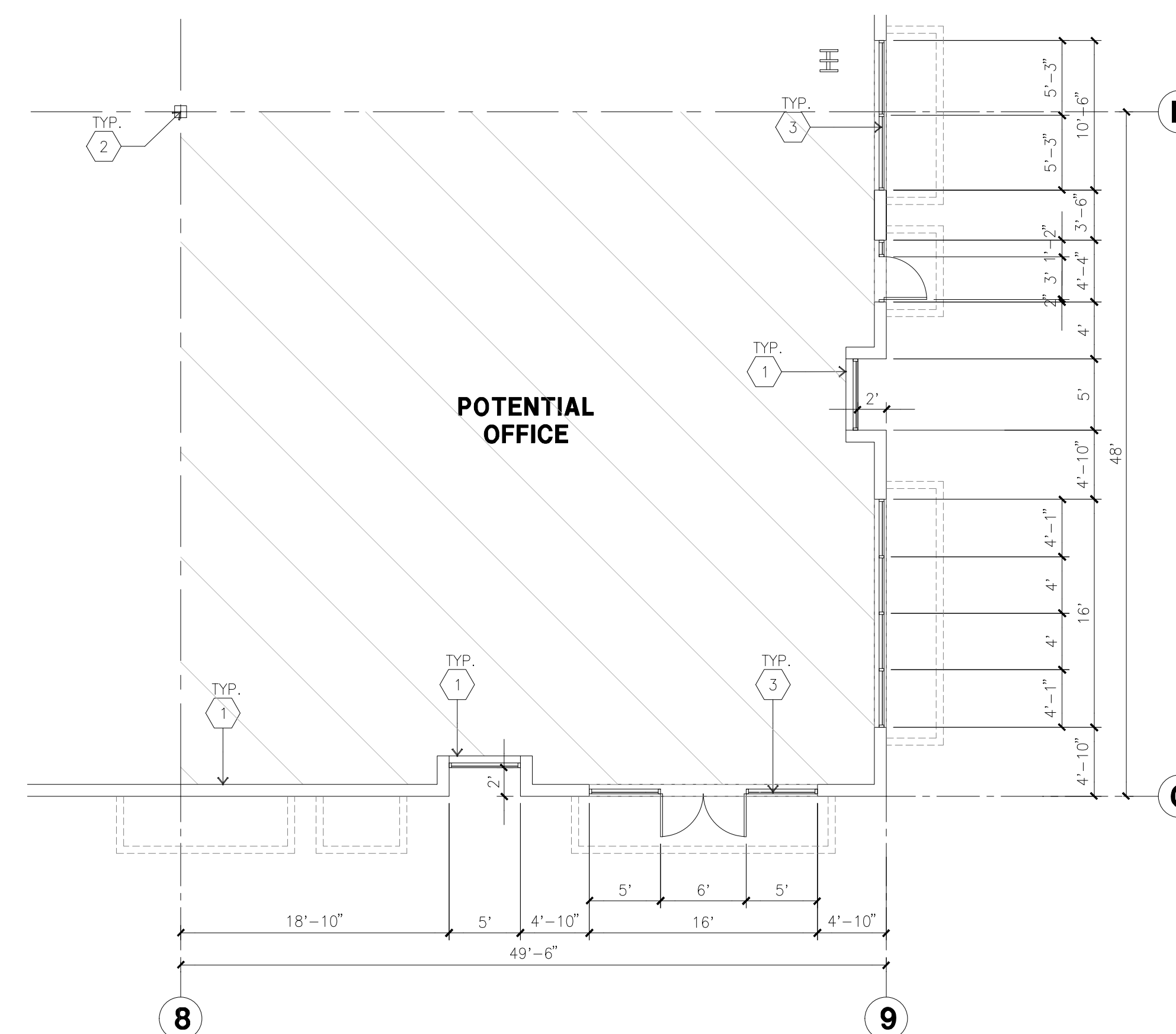
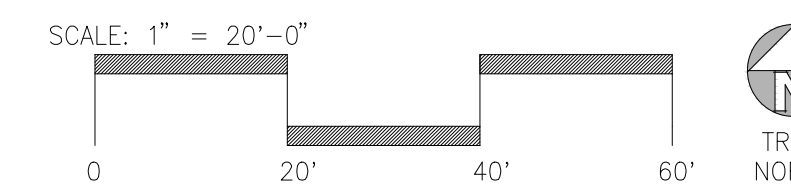
GENERAL NOTES - FLOOR PLAN

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' +/- . A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3.5 BC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED. SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD WALL.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
10. PLUMBING/ELECTRICAL COORDINATION.
11. FOR DOOR TYPES AND SIZES. SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
12. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DUFFERED INCLUDING CARS AND TRUCKS.
13. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
14. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
15. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
16. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
17. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER IBC: 11B-216.6
18. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.



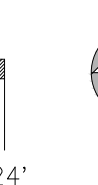
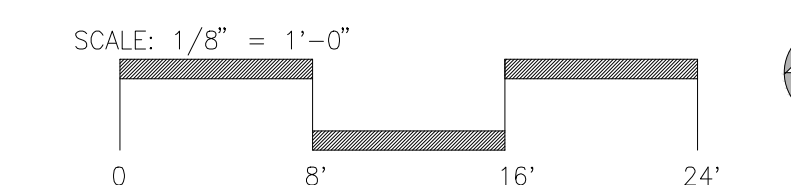
OVERALL FLOOR PLAN A

scale: 1" = 20'-0"



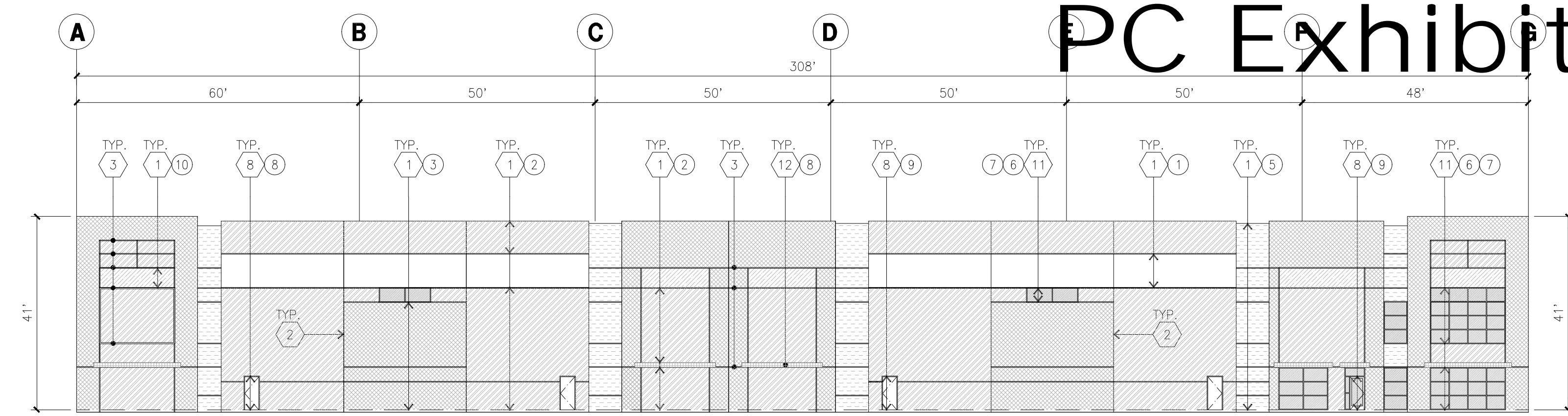
ENLARGED SITE PLAN B

scale: 1/8" = 1'-0"

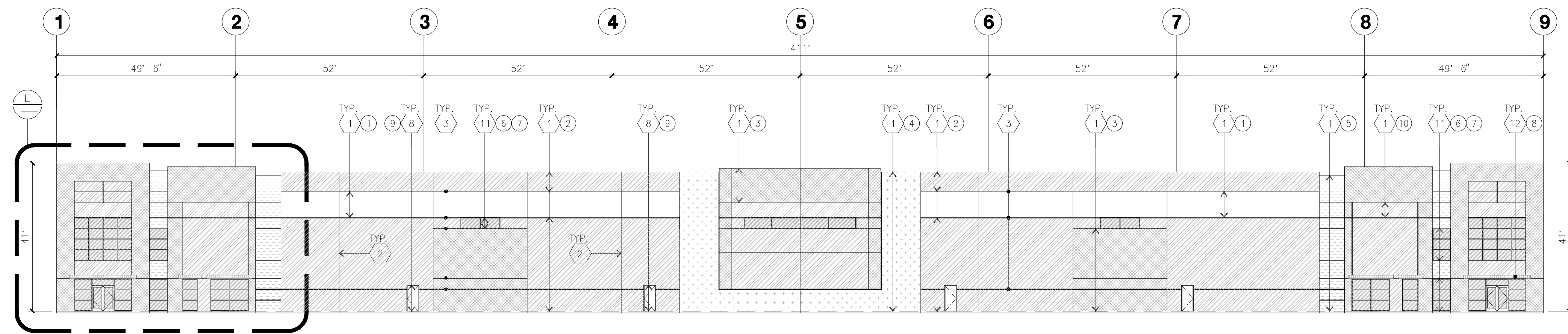


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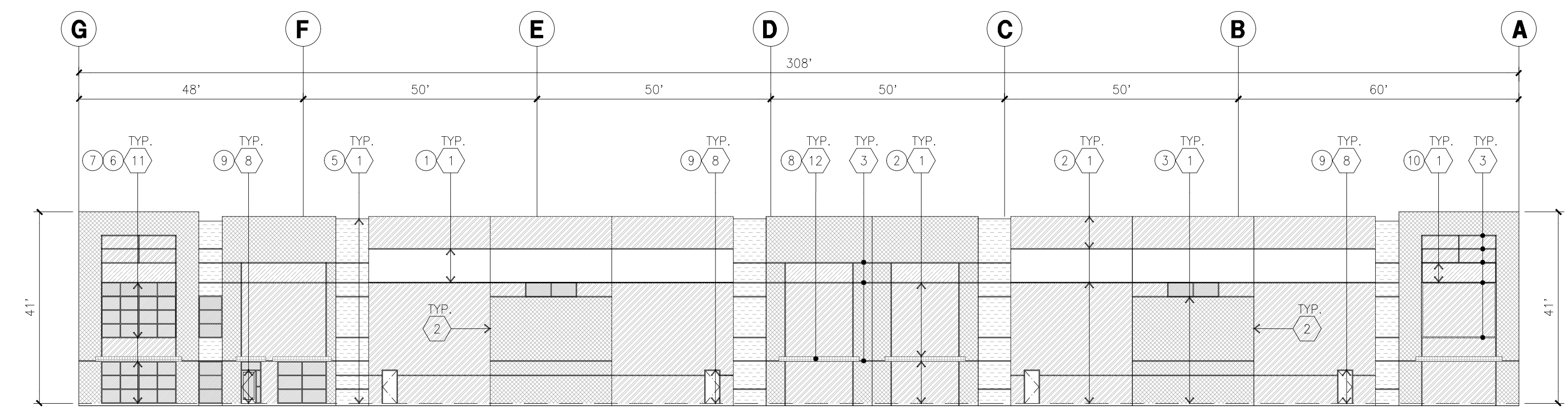
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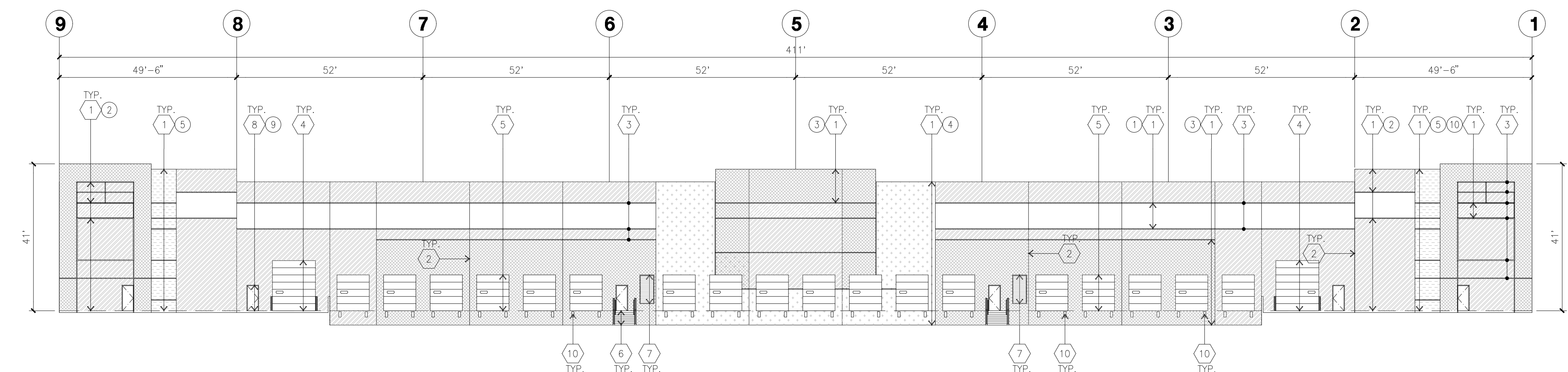
NORTH ELEVATION A
scale: 1" = 20'-0"



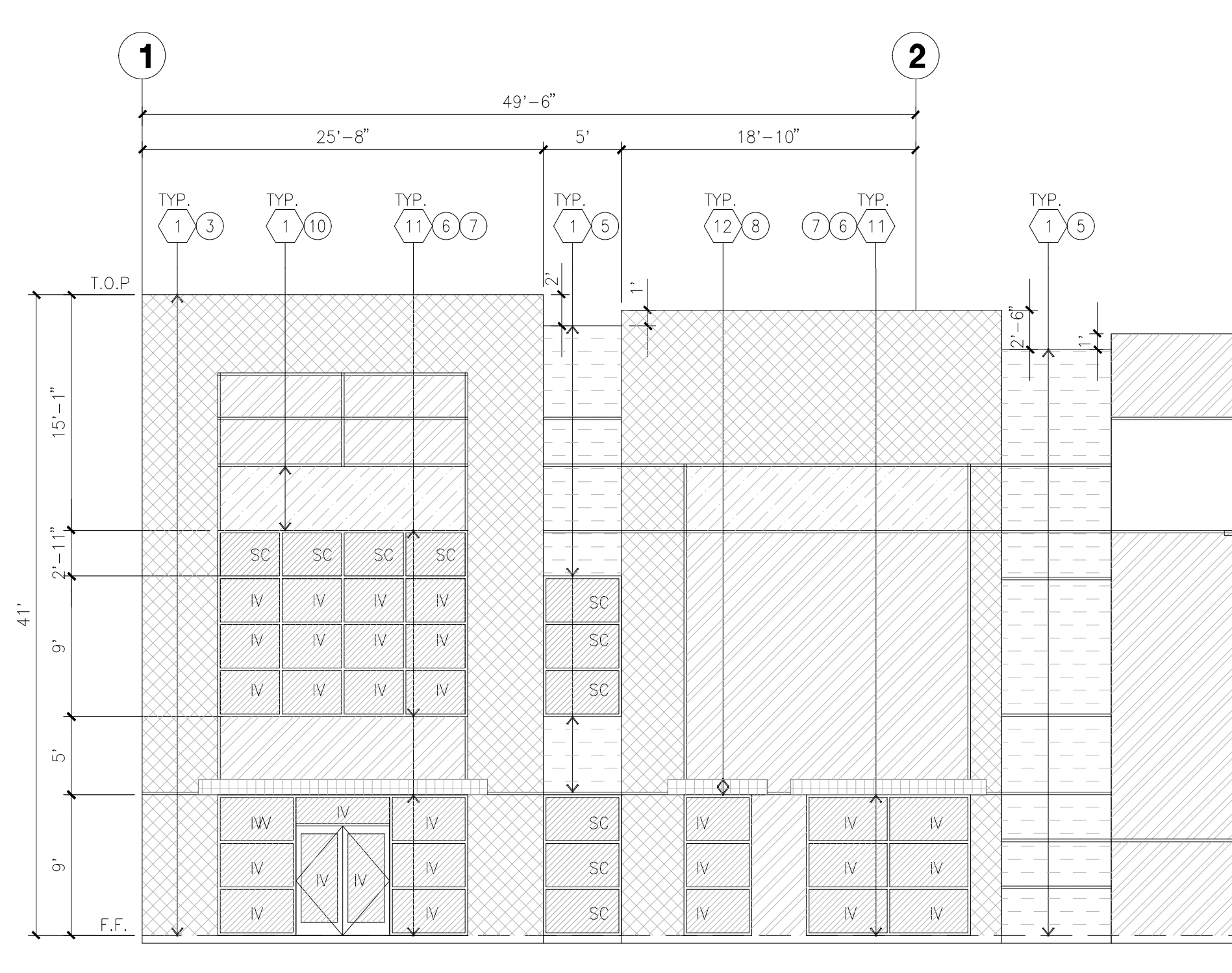
WEST ELEVATION B
scale: 1" = 20'-0"



SOUTH ELEVATION C
scale: 1" = 20'-0"



EAST ELEVATION D
scale: 1" = 20'-0"



ENLARGED NORTH ELEVATION E
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR, U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9A EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 9B NOT USED.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY.

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINETS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED. EXPOSURE WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- I. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR. RAILINGS TO MATCH BUILDING COLOR.
- M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE.
- V : VISION GLASS
1/4" VISTACOL PACIFICA
- MULLIONS : ANODIZED CLEAR.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL. COLOR : SW 7006 EXTRA WHITE
- 2 CONCRETE TILT-UP PANEL. COLOR : SW 6385 DOVER WHITE
- 3 CONCRETE TILT-UP PANEL. COLOR : SW 7058 MAGNETIC GRAY
- 4 CONCRETE TILT-UP PANEL. COLOR : SW 7673 PEWTER CAST
- 5 CONCRETE TILT-UP PANEL. COLOR : SW 7068 GRIZZLE GRAY
- 6 MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- 7 GLAZING COLOR : BLUE REFLECTIVE GLAZING
- 8 CANOPY MATERIAL : SHERWIN-WILLIAMS METALLICS TO MATCH FRAZEE D01 WHITE (CLEAR COAT)
- 9 DOOR COLORS : MATCH BUILDING COLOR
- 10 CONCRETE TILT-UP PANEL. COLOR : KM 4988-5 PASSIONATE BLUEBERRY

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Title: OVERALL SITE PLAN

Project Number: 16245.15
Drawn by: MD
Date: 11/13/2019
Revision:

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SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE, PROJECT NUMBER #
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

PROJECT DATA

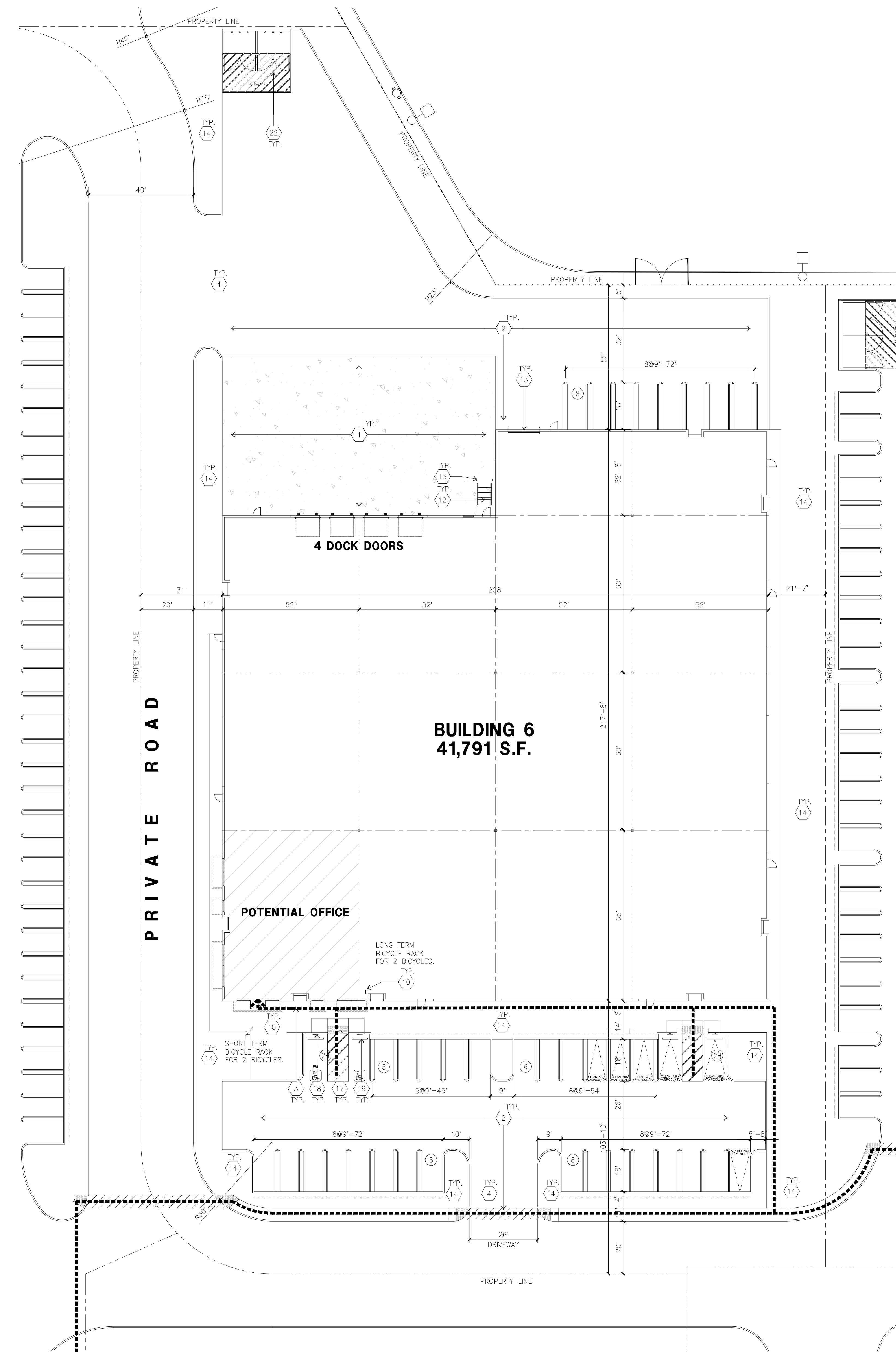
		BLDG. 6	
SITE AREA			
In s.f.	108,571	s.f.	
In acres	2.49	acre	
BUILDING AREA			
Office	3,000	s.f.	
Warehouse	38,791	s.f.	
TOTAL	41,791	s.f.	
COVERAGE	38.5%		
AUTO PARKING REQUIRED			
Office: 1/250 s.f.		n/a	stall
Whse: 1/1,000 s.f.		42	stall
TOTAL		42	stall
AUTO PARKING PROVIDED			
Standard (9' x 18')		31	stall
Clean air/ vanpool (9' x 16' +2' Overhang)		1	stall
EV parking (9' x 16' +2' Overhang)		3	stall
Accessible EV Van (9'x18'+8' Aisle)		1	stall
Accessible Standard EV parking (9'x18')		1	stall
Van accessible parking (9'x18'+8' Aisle)		1	stall
Accessible Standard parking (9'x18')		1	stall
Compact (8' x 16')		0	stall
TOTAL		39	stall
VAN PARKING PROVIDED			
Trailer (11' x 27')		0	stall
BICYCLE PARKING REQUIRED			
TSW CalGreen short term - 5% of autos		2	stall
Cal Green long term - 5% of autos		2	stall
BICYCLE PARKING PROVIDED			
Short term - 5% of autos		2	stall
Long term - 5% of autos		2	stall
ZONING ORDINANCE FOR CITY			
Zoning Designation - Light Industrial (M-1)			
MAXIMUM BUILDING HEIGHT ALLOWED			
Height - 50'			
MAXIMUM FLOOR AREA RATIO			
FAR - .50			
LANDSCAPE REQUIREMENT			
Percentage - %			
SETBACKS			
Building			
Front - 100' Ave. Bldg.			
Side - 50'			
Rear - 60'			
Landscape			
50' from Foothills Blvd.			
15' from Union Pacific Rail road			
6' parking lot setback from adjacent properties			

SITE PLAN KEYNOTES

1. HEAVY BROOM FINISH CONCRETE PAVEMENT.
2. ASPHALT CONCRETE (AC) PAVING
3. ACCESSIBLE PATH OF TRAVEL
4. DRIVEWAY APRONS
5. 8" x 6" x 6" x 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
6. APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY
- 7A. 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT
- 7B. 6' HIGH CHAIN LINK FENCE
- 7C. 8' HIGH METAL FENCE
8. CONCRETE WALKWAY, MEDIUM BROOM FINISH. SEE "L" DRAWINGS.
9. CONCRETE RAMP WITH CONCRETE GUARD WALL. SEE "C" DRAWINGS.
10. BIKE RACK.
11. FUTURE ELECTRIC VEHICLE CHARGER.
12. EXTERIOR METAL STEEL STAIR.
13. 12' x 14' DRIVE-IN DOOR
14. LANDSCAPE.
15. CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
16. PRE-CAST CONC. WHEEL STOP.
17. TRUNCATED DOME.
18. ACCESSIBLE PARKING STALL SIGN.
19. HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
20. ACCESSIBLE ENTRY SIGN.
21. PUMP ROOM.
22. TRASH ENCLOSURE.
23. ELECTRICAL ROOM.
24. CONCRETE DOLLY PAD. SEE SITE PLAN FOR WIDTH AND "C" DRAWINGS.
25. SMOKING AREA.
26. NOT USED.
27. EXTERIOR PARKING LIGHT POLE.
28. STORM TREATMENT SEE CIVIL DRAWINGS
29. SCREEN WALL

SITE PLAN GENERAL NOTES

- CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 16' + 2' OVERHANG)
- CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV (9' X 16' + 2' OVERHANG)
- CLEAN AIR/ VANPOOL/EV WITHOUT CONDUIT STUB FOR FUTURE EV (9' X 16' + 2' OVERHANG)
- TRAILER PARKING (10' X 53')
- LANDSCAPED AREA
- NON-ACCESSIBLE PATH
- COMPACT PARKING STALL (8' X 14' + 2' OVERHANG)
- ACCESSIBLE PARKING STALL (9' X 18')
- ACCESSIBLE AISLE SEE DETAIL 11/AD.1
- ACCESSIBLE PARKING (VAN) STALL (9' X 18') + 8' W/ ACCESSIBLE AISLE
- PATH OF TRAVEL. MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN



OVERALL SITE PLAN
scale: 1" = 20'-0"
SCALE: 1" = 20'-0"
TRUE NORTH

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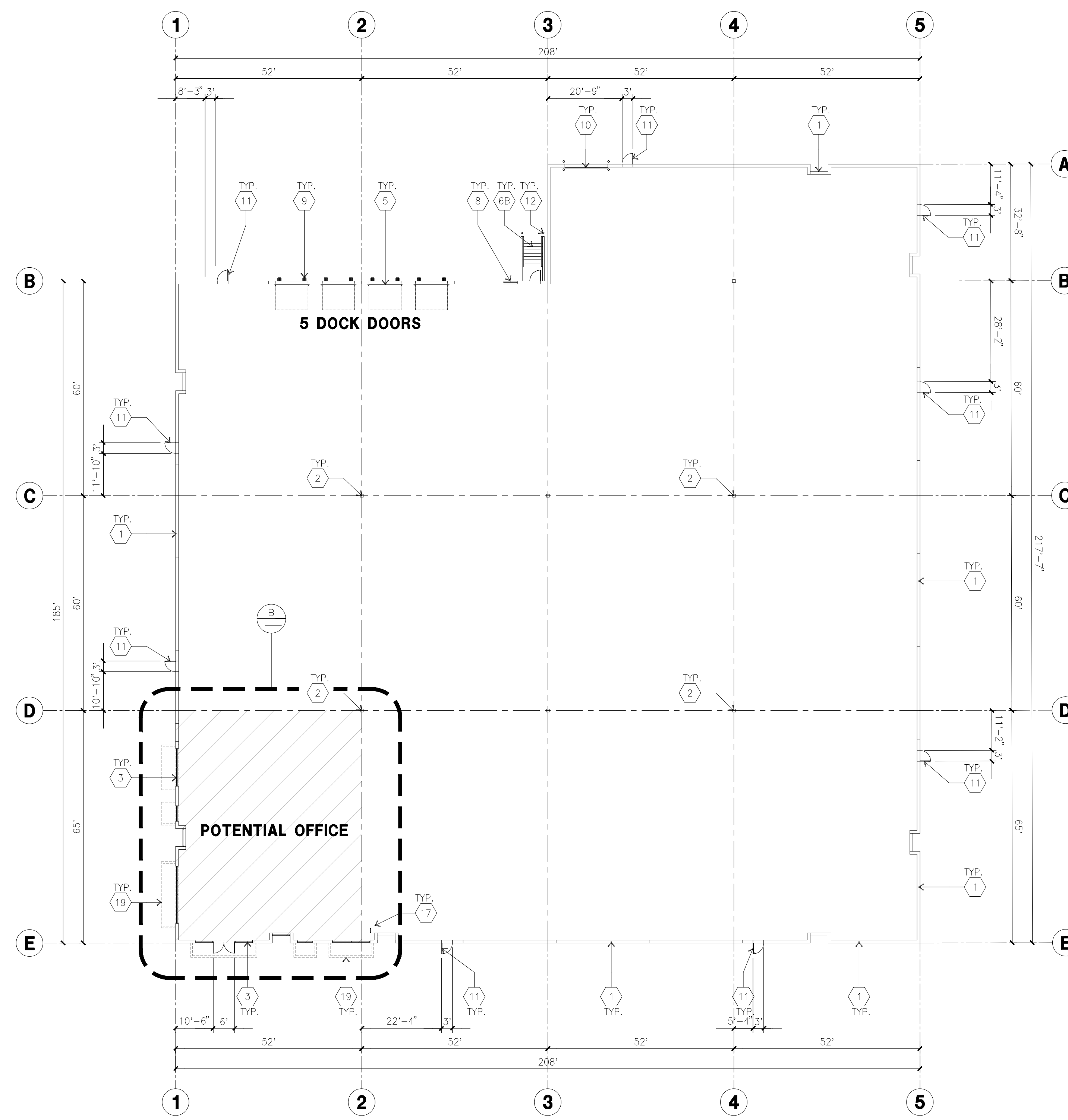
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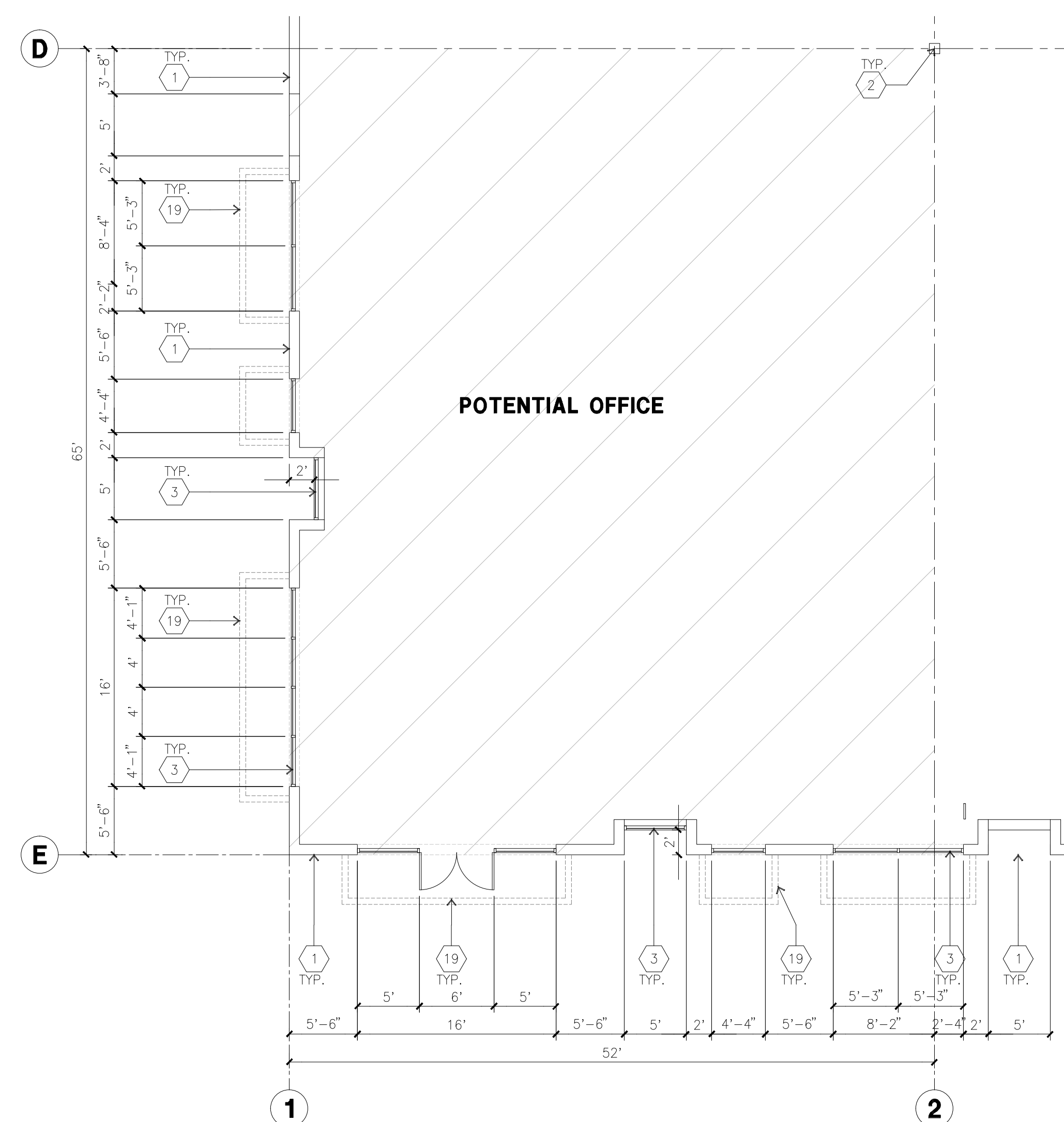
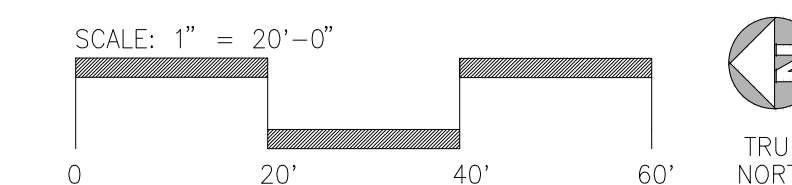
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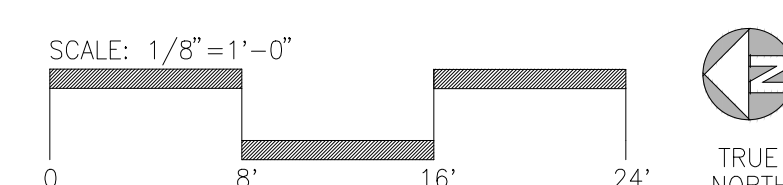
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OVERALL FLOOR PLAN
scale: 1" = 20'-0"



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"



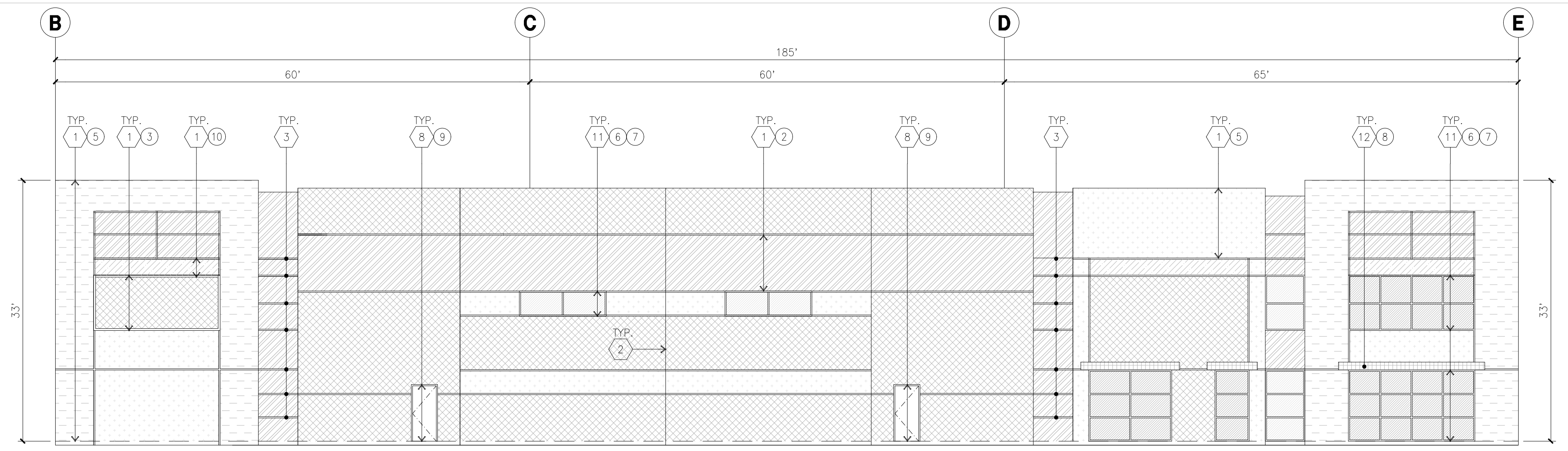
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- (1) CONCRETE TILT-UP PANEL.
- (2) STRUCTURAL STEEL COLUMN.
- (3) TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- (4) CONCRETE RAMP W/ 42" HIGH CONC. TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- (5) 9' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (6A) EXTERIOR METAL STEEL STAIR.
- (6B) EXTERIOR CONCRETE STAIR.
- (7) 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX.
- (8) 4' X 8' METAL LOUVER.
- (9) DOCK DOOR BUMPER.
- (10) 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (11) 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR, DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (12) CONC. FILLED GUARD POST, 6" DIA. U.N.O., 48"H.
- (13) EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- (14) INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- (15) INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- (16) Z GUARD.
- (17) INTERIOR BIKE RACK.
- (18) ELECTRICAL ROOM.
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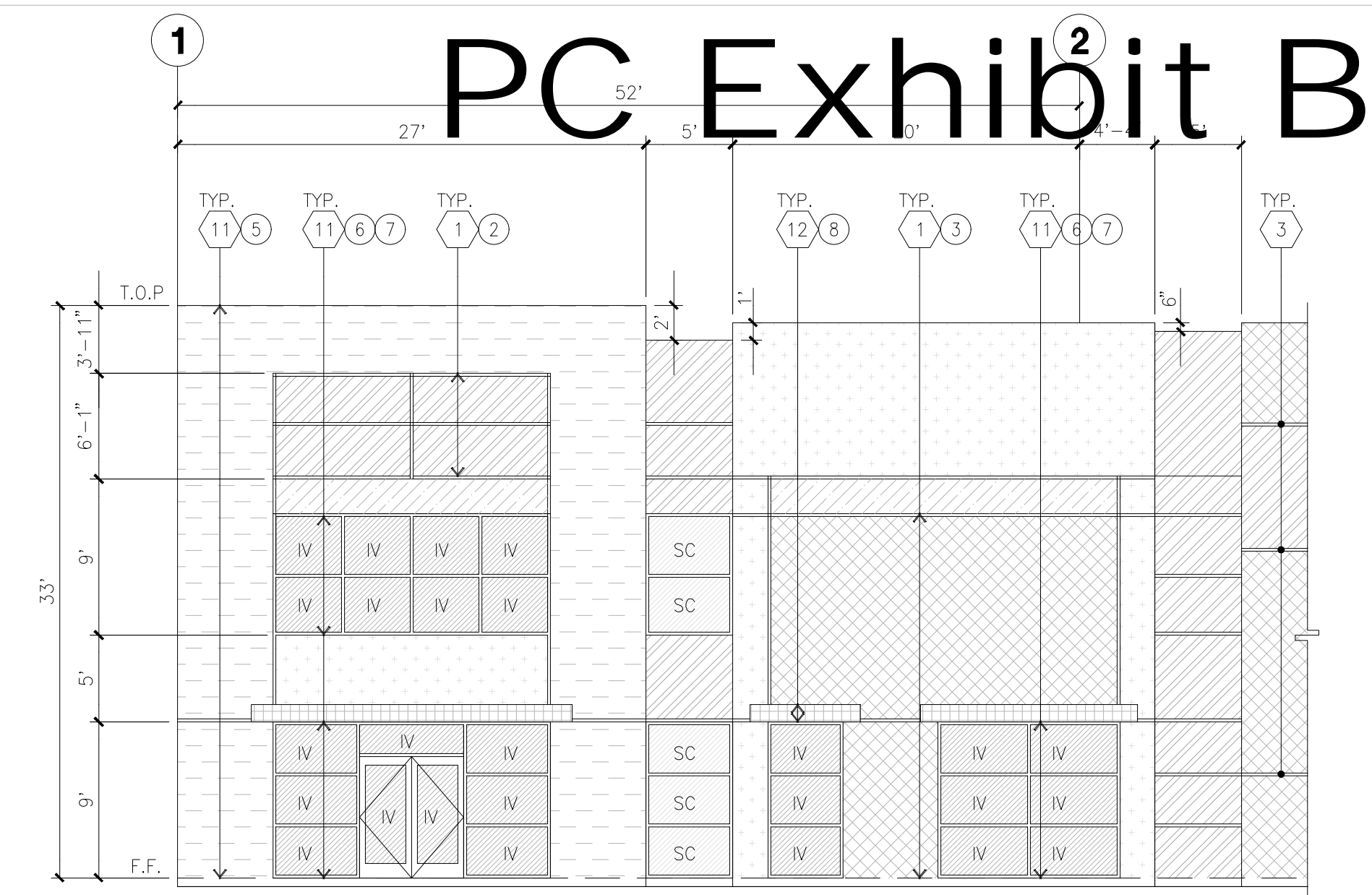
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2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED. SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
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12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 118-216.1.
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.

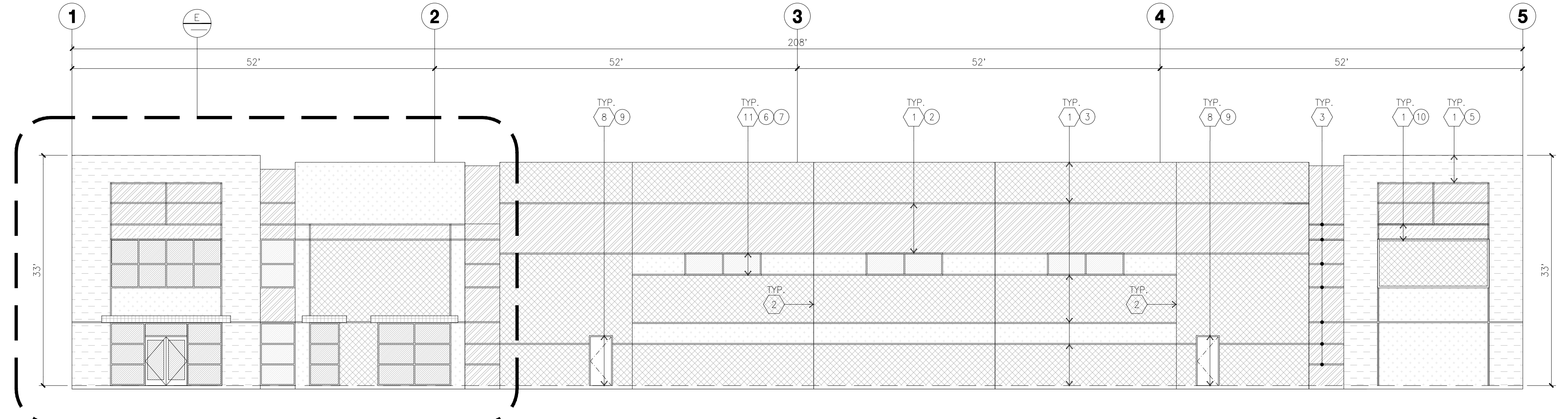
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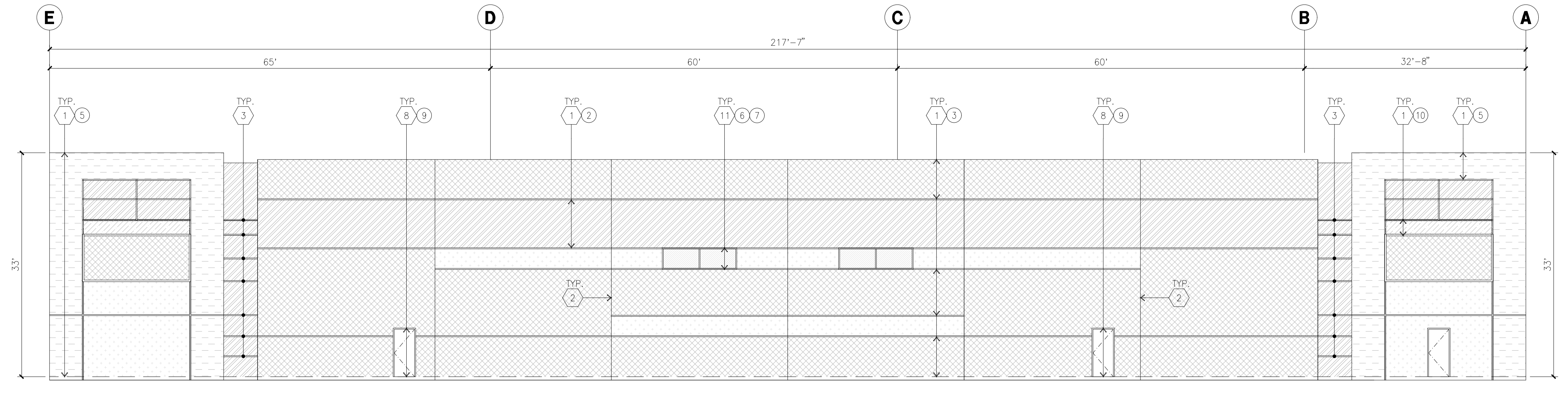
NORTH ELEVATION
scale: 1/10" = 1'-0"



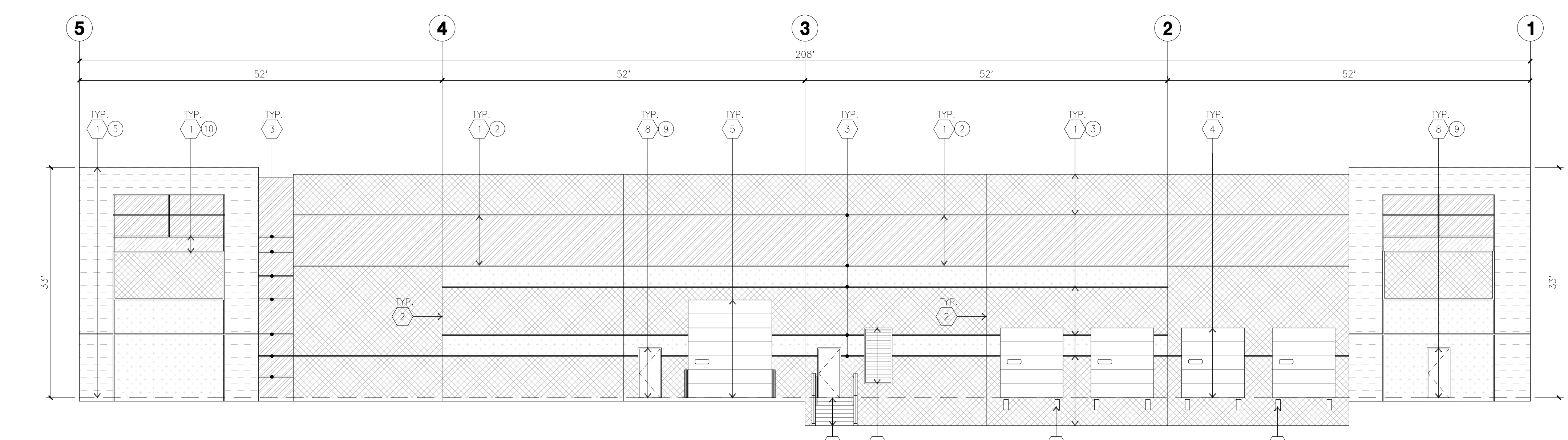
ENLARGED WEST ELEVATION
scale: 1/8" = 1'-0"



WEST ELEVATION
scale: 1/10" = 1'-0"



SOUTH ELEVATION
scale: 1/10" = 1'-0"



EAST ELEVATION
scale: 1/10" = 1'-0"

PC Exhibit B

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES SEE "DRAWINGS". WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE FRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.C.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 EXTERIOR METAL STEEL STAIR.
- 6 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 7 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPING ALL AROUND. PROVIDE FOR RAIN DIVERTER ABOVE DOOR. EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 8A NOT USED
- 8B DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 10 METAL TUBE STEEL CANOPY

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST TYP. REQUIRED WIND SPEED. EXPOSURE "WINDS". CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR.
- M. RAILINGS TO MATCH BUILDING COLOR.
- N. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP PANEL COLOR : SW 7006 EXTRA WHITE
- 2 CONCRETE TILT-UP PANEL COLOR : SW 6385 DOVER WHITE
- 3 CONCRETE TILT-UP PANEL COLOR : SW 7058 MAGNETIC GRAY
- 4 CONCRETE TILT-UP PANEL COLOR : SW 7673 PEWTER CAST
- 5 CONCRETE TILT-UP PANEL COLOR : SW 7068 GRIZZLE GRAY
- 6 MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- 7 GLAZING COLOR : BLUE REFLECTIVE GLAZING
- 8 CANOPY MATERIAL : SHERWIN-WILLIAMS METALLICS TO MATCH FRAZEE 001 WHITE (CLEAR COAT)
- 9 DOOR COLORS : MATCH BUILDING COLOR
- 10 CONCRETE TILT-UP PANEL COLOR : KM 5079-5 BOG PIPER

GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- IV INSULATED VISION GLASS
 - SC SPANDREL GLASS WITH CONCRETE BEHIND
 - SG SINGLE LITE VISION GLASS
- VI : INSULATED VISION GLASS
1/4" VISTACOOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.21 AL: 28% MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOOL PACIFICA WITH WARM GRAY OPAFCOAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE.
- V : VISION GLASS
1/4" VISTACOOL PACIFICA
- MULLIONS : ANODIZED CLEAR.



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Land North**
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Sacramento, CA 95826
ph: (916) 379-1202

Project:
Roseville 80

Roseville, CA

Consultants:
Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: ELEVATION

Project Number: 16245.15
Drawn by: MD
Date: 11/13/2019
Revision:

Sheet:

6-DAB-A3.1

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Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: OVERALL SITE PLAN

Project Number: 16245.15
Drawn by: MD
Date: 11/13/2019
Revision:

Sheet:

7-DAB-A1.1

SITE PLAN GENERAL NOTES

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE, PROJECT NUMBER #
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
- PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
- ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

PROJECT DATA

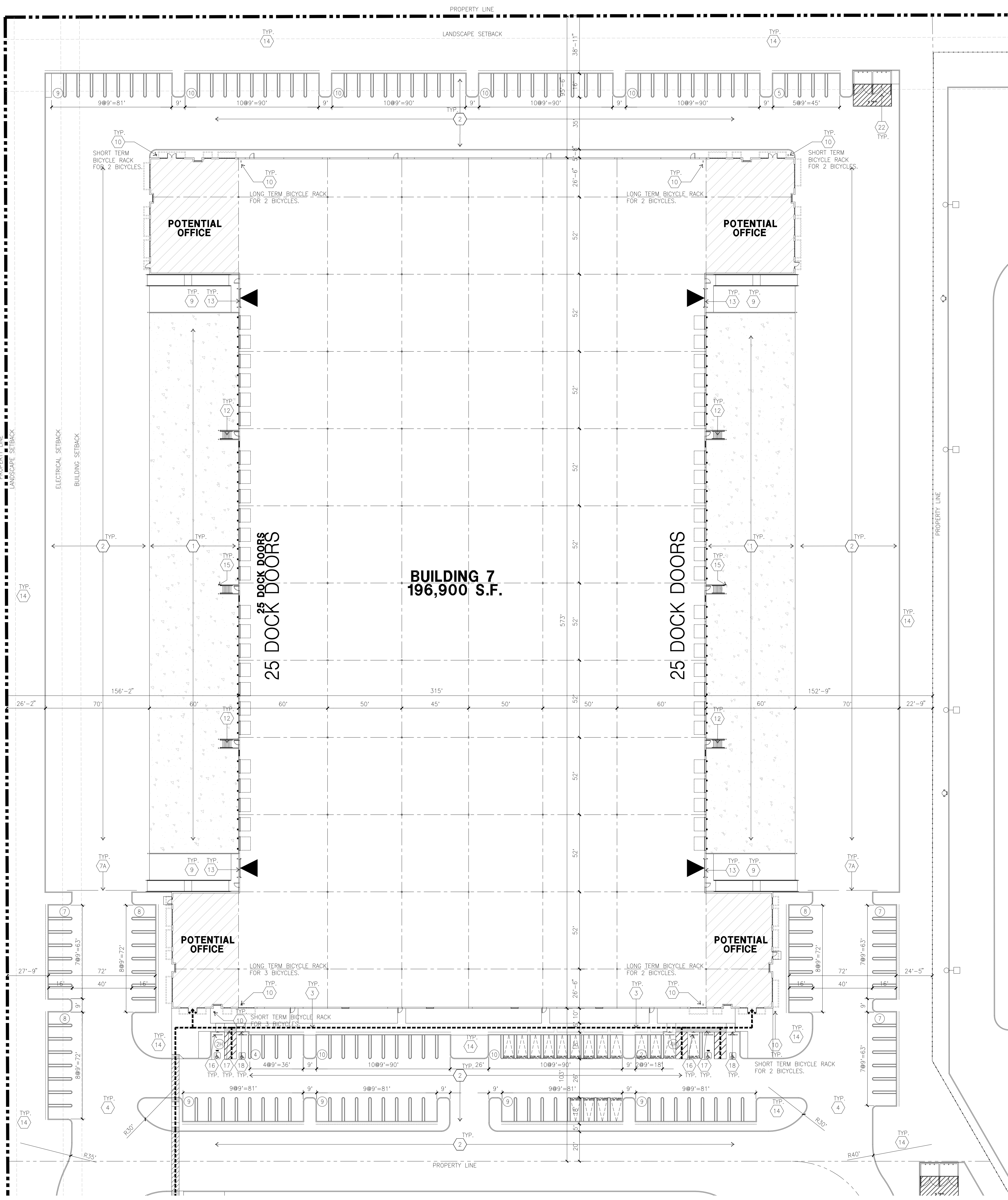
SITE AREA		BLDG. 7
In s.f.	482,647	s.f.
In acres	11.08	acre
BUILDING AREA		
Office	12,000	s.f.
Warehouse	184,900	s.f.
TOTAL	196,900	s.f.
COVERAGE	40.8%	
AUTO PARKING REQUIRED		
Office: 1/250 s.f.		n/a stall
Whse: 1/1,000 s.f.		197 stall
TOTAL		197 stall
AUTO PARKING PROVIDED		
Standard (9' x 18')	142	stall
Clean air/ vanpool (9'x 16' +2' Overhang)	4	stall
EV parking (9'x 16' +2' Overhang)	11	stall
Accessible EV Van (9'x18'+8' Aisle)	1	stall
Accessible Standard EV parking (9'x18')	1	stall
Van accessible parking (9'x18'+8' Aisle)	2	stall
Accessible Standard parking (9'x18')	2	stall
Compact (8' x 16')	0	stall
TOTAL	163	stall
VAN PARKING PROVIDED		
Trailer (11' x 27')	0	stall
BICYCLE PARKING REQUIRED		
TSM CalGreen short term - 5% of autos	9	stall
Cal Green long term - 5% of autos	9	stall
BICYCLE PARKING PROVIDED		
Short term - 5% of autos	9	stall
Long term - 5% of autos	9	stall
ZONING ORDINANCE FOR CITY		
Zoning Designation - Light Industrial (M-1)		
MAXIMUM BUILDING HEIGHT ALLOWED		
Height - 50'		
MAXIMUM FLOOR AREA RATIO		
FAR - .50		
LANDSCAPE REQUIREMENT		
Percentage - %		
SETBACKS		
Building		
Front - 100' Ave. Bldg.		
Side - 50'		
Rear - 60'		
Landscape		
50' from Foothills Blvd.		
15' from Union Pacific Rail road		
6' parking lot setback from adjacent properties		

SITE PLAN KEYNOTES

- HEAVY BROOM FINISH CONCRETE PAVEMENT.
- ASPHALT CONCRETE (AC) PAVING
- ACCESSIBLE PATH OF TRAVEL
- DRIVEWAY APRONS
- 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
- APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY
- 8' HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT
- 6' HIGH CHAIN LINK FENCE
- 8' HIGH METAL FENCE
- CONCRETE WALKWAY, MEDIUM BROOM FINISH. SEE "L" DRAWINGS.
- CONCRETE RAMP WITH CONCRETE GUARD WALL. SEE "C" DRAWINGS.
- BIKE RACK.
- FUTURE ELECTRIC VEHICLE CHARGER.
- EXTERIOR METAL STEEL STAIR.
- 12' x 14' DRIVE-IN DOOR
- LANDSCAPE.
- CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- PRE-CAST CONC. WHEEL STOP.
- TRUNCATED DOMES.
- ACCESSIBLE PARKING STALL SIGN.
- HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- ACCESSIBLE ENTRY SIGN.
- PUMP ROOM.
- TRASH ENCLOSURE.
- ELECTRICAL ROOM.
- CONCRETE DOLLY PAD. SEE SITE PLAN FOR WIDTH AND "C" DRAWINGS.
- SMOKING AREA.
- NOT USED.
- EXTERIOR PARKING LIGHT POLE.
- STORM TREATMENT SEE CIVIL DRAWINGS
- SCREEN WALL

SITE PLAN GENERAL NOTES

- CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (9' x 16' + 2' OVERHANG)
- CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV (9' x 16' + 2' OVERHANG)
- CLEAN AIR/ VANPOOL/ EV WITHOUT CONDUIT STUB FOR FUTURE EV (9' x 16' + 2' OVERHANG)
- TRAILER PARKING (10' x 53')
- LANDSCAPED AREA
- NON-ACCESSIBLE PATH
- COMPACT PARKING STALL (8' x 14' + 2' OVERHANG)
- ACCESSIBLE PARKING STALL (9' x 18')
- ACCESSIBLE AISLE SEE DETAIL 11/AD.1
- ACCESSIBLE PARKING (VAN) STALL (9' x 18') + 8' W/ ACCESSIBLE AISLE
- PATH OF TRAVEL. MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN



OVERALL SITE PLAN
scale: 1" = 30'-0"
SCALE: 1" = 30'-0"
TRUE NORTH

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Roseville, CA

Consultants:

Civil: Kimley Horn
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape: Vista Parks
Fire Protection:
Soils Engineer:

Title: OVERALL FLOOR PLAN

Project Number: 16245.15

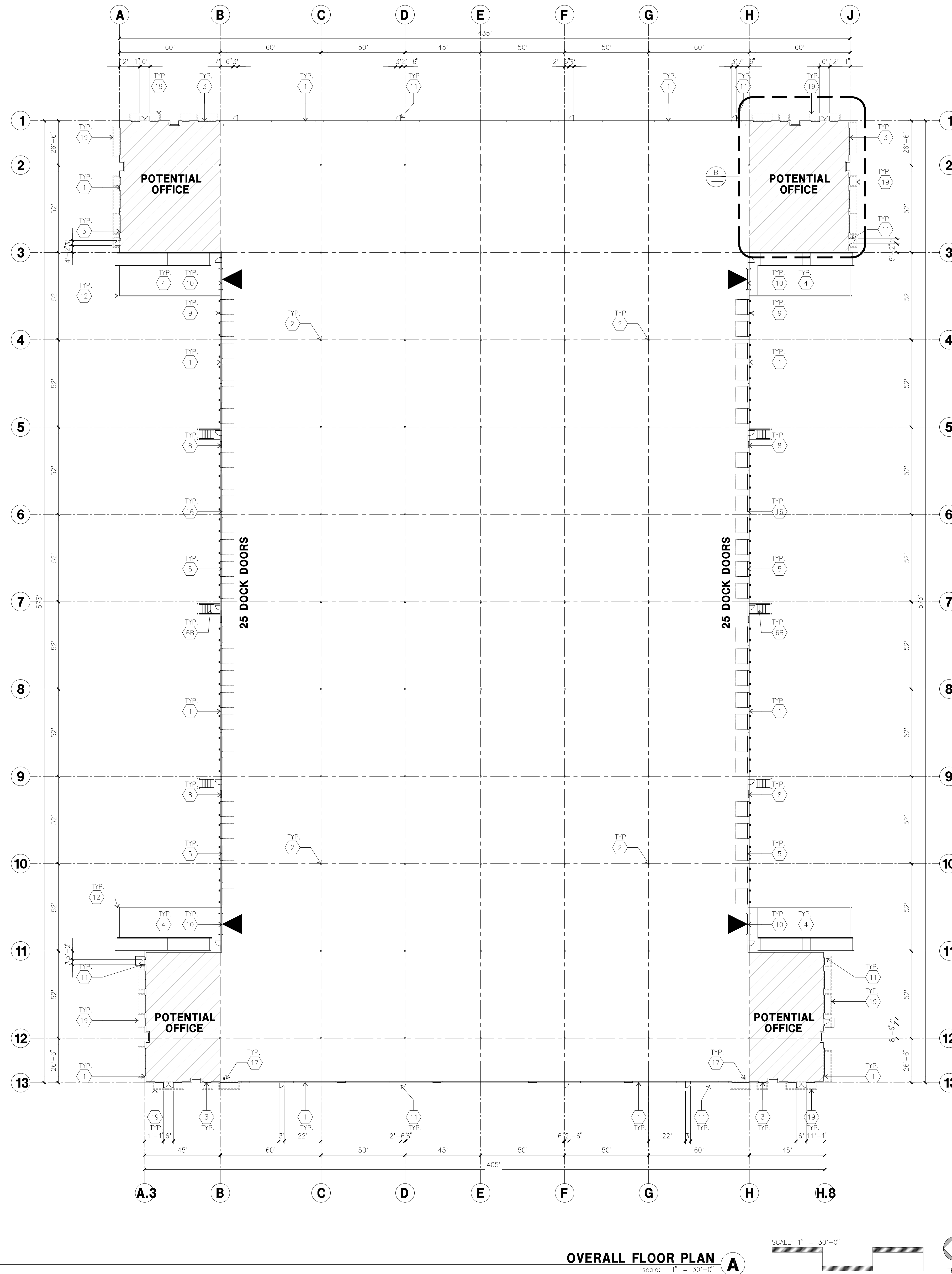
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Date: 11/13/2019

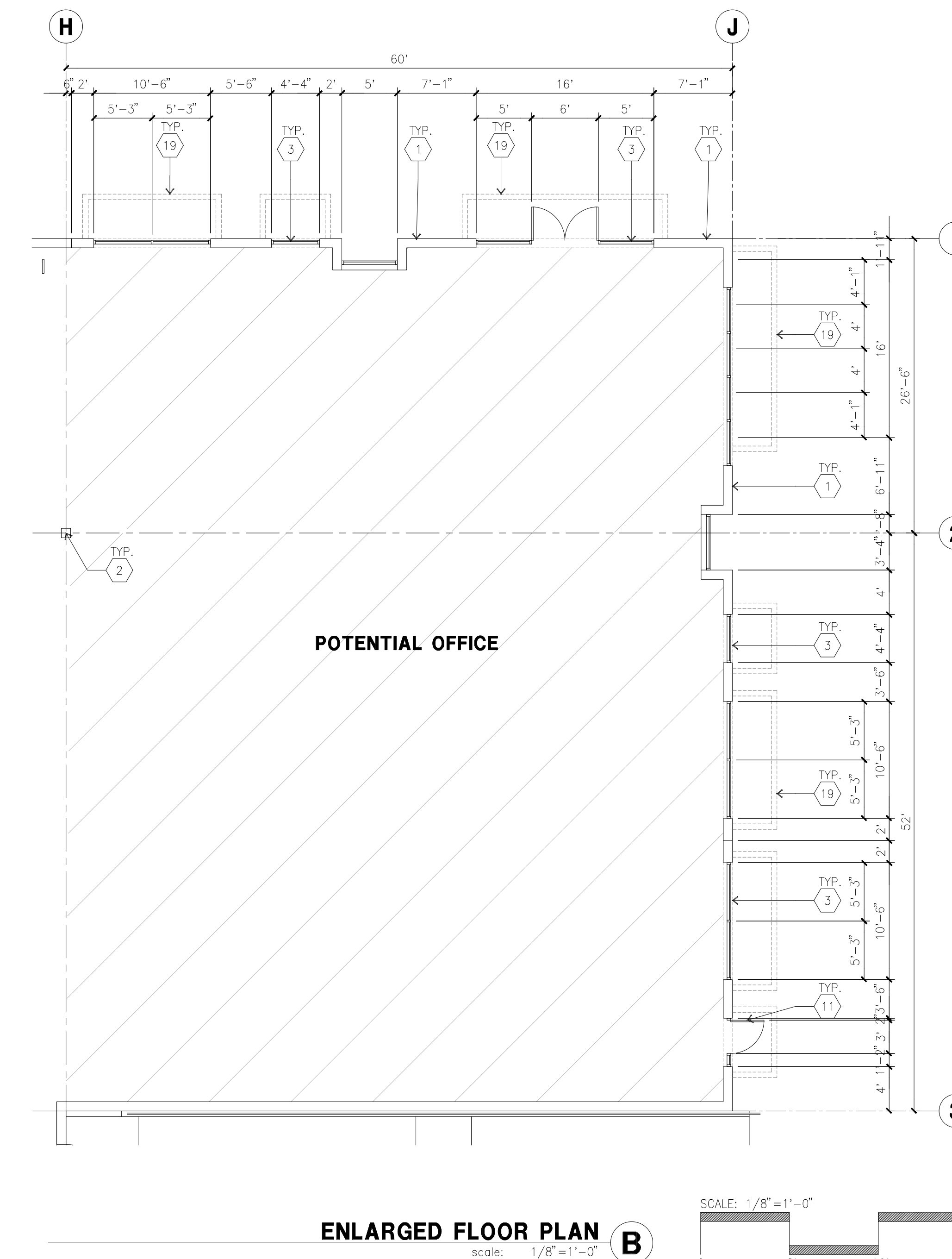
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OVERALL FLOOR PLAN
scale: 1" = 30'-0" A



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0" B

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 5 9' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 6A EXTERIOR METAL STEEL STAIR.
- 6B EXTERIOR CONCRETE STAIR.
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- 8 4'X8' METAL LOUVER.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 12 CONC. FILLED GUARD POST, 6" DIA. U.N.O., 48"H.
- 13 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 14 INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- 15 INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- 16 Z GUARD.
- 17 INTERIOR BIKE RACK.
- 18 ELECTRICAL ROOM.
- 19 METAL CANOPY ABOVE.

GENERAL NOTES - FLOOR PLAN

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' +/- . A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED. SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DWARFED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
13. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
14. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
15. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
16. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 119-216.6.
17. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.

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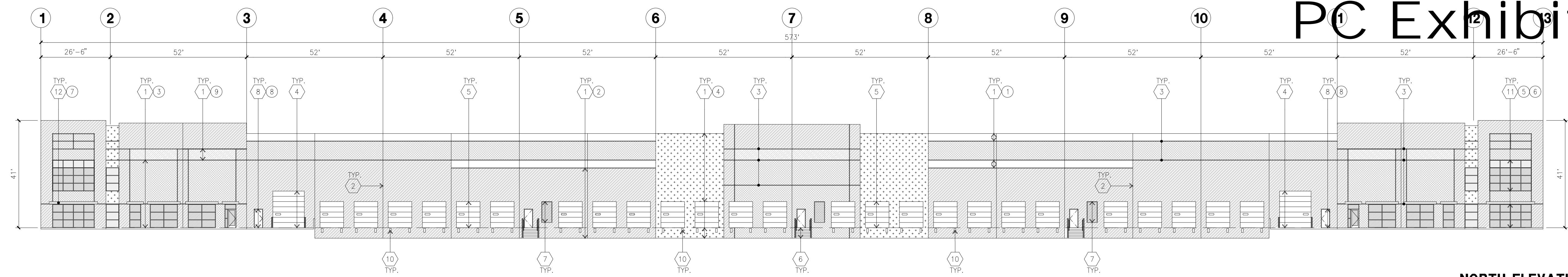
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Title: ELEVATION

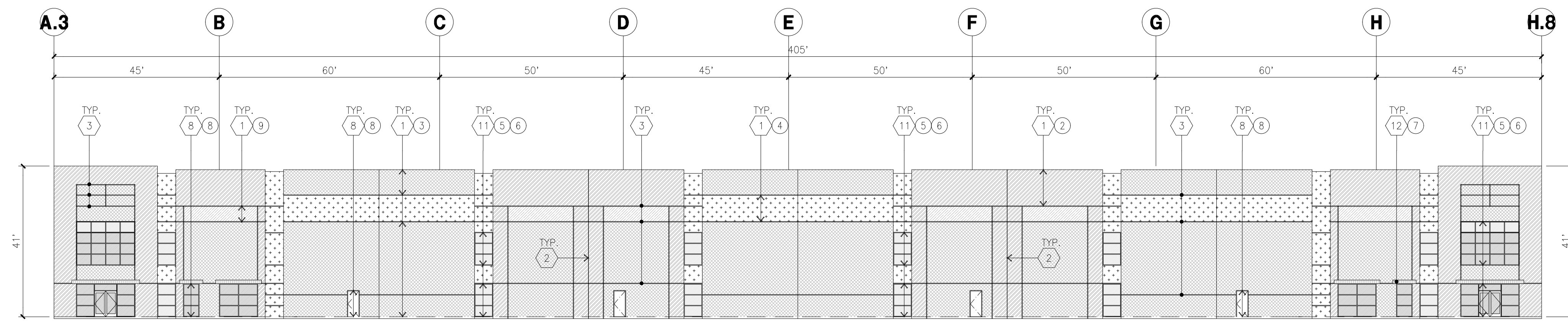
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Drawn by: MD
Date: 11/13/2019
Revision:

Sheet:

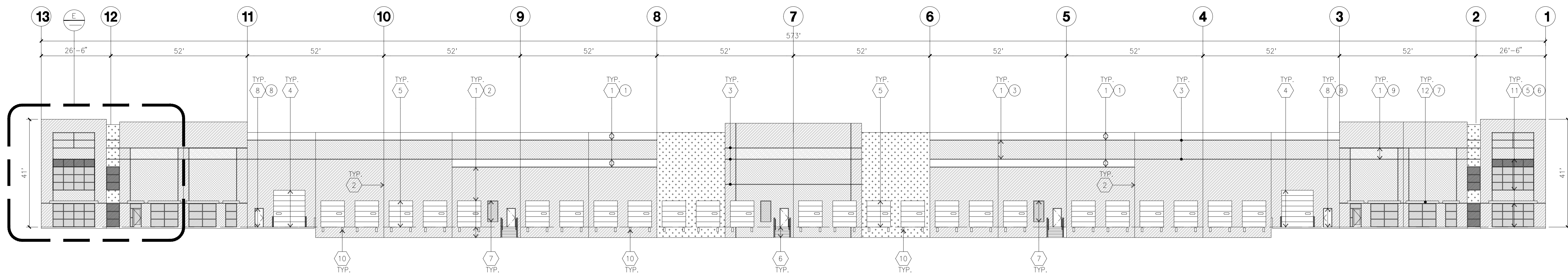
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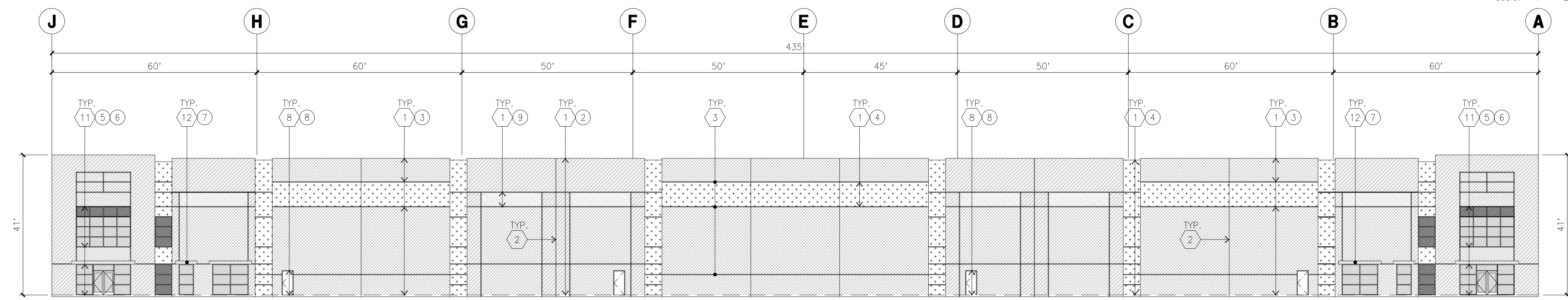
NORTH ELEVATION
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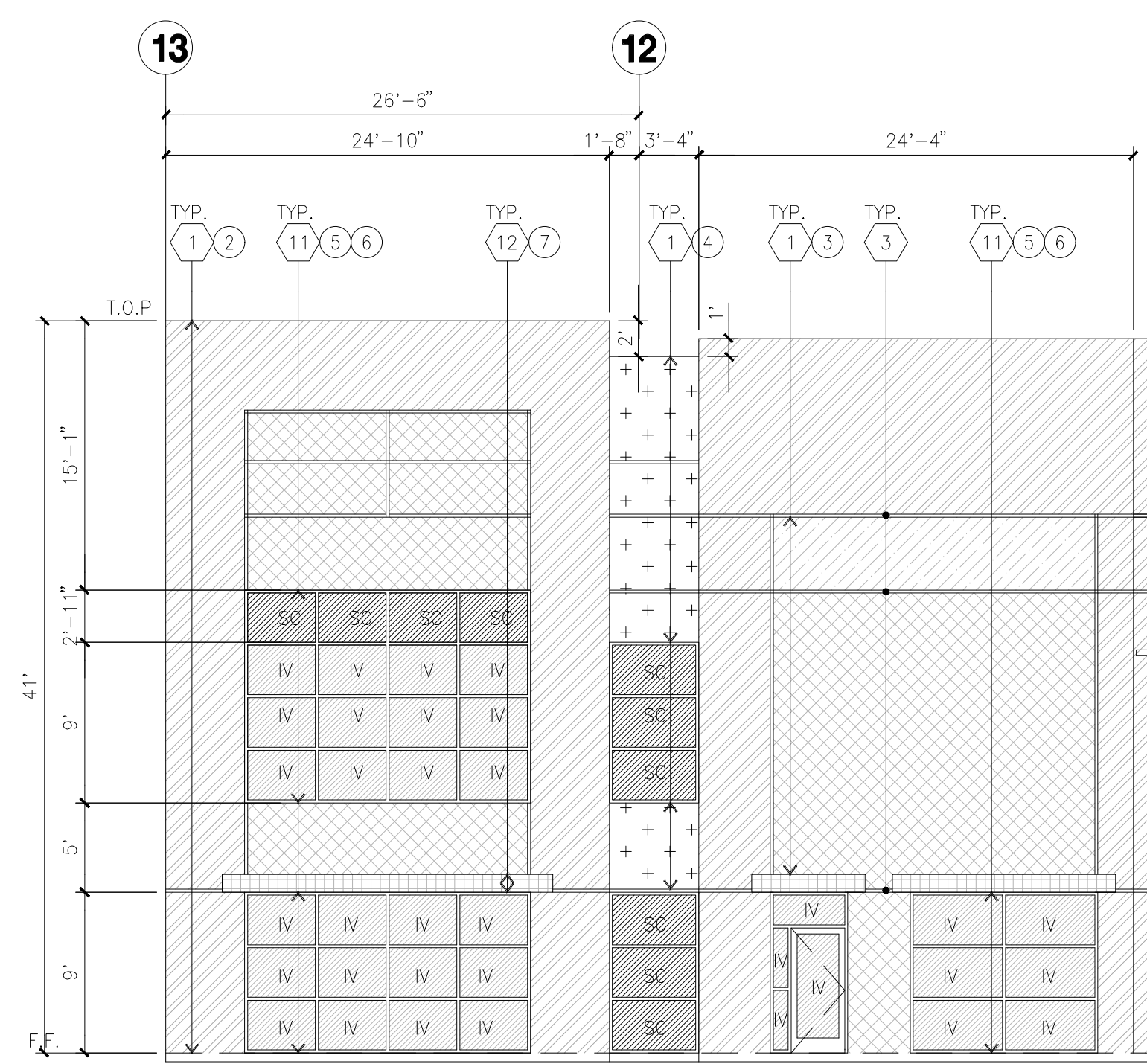
WEST ELEVATION
scale: 1" = 20'-0" **B**



SOUTH ELEVATION
scale: 1" = 20'-0" **C**



EAST ELEVATION
scale: 1" = 20'-0" **D**



ENLARGED SOUTH ELEVATION
scale: 1/8" = 1'-0" **E**

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES - SEE ARCH. DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL - ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.D.
- 4 OVERHEAD DOOR @ DRIVE THRU - PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH - PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9A EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 9B NOT USED
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL TUBE STEEL CANOPY

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINETES SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED. EXPOSURE TO INSTALLATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMP TO MATCH BUILDING COLOR. RAILINGS TO MATCH BUILDING COLOR.
- M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

GLAZING LEGEND

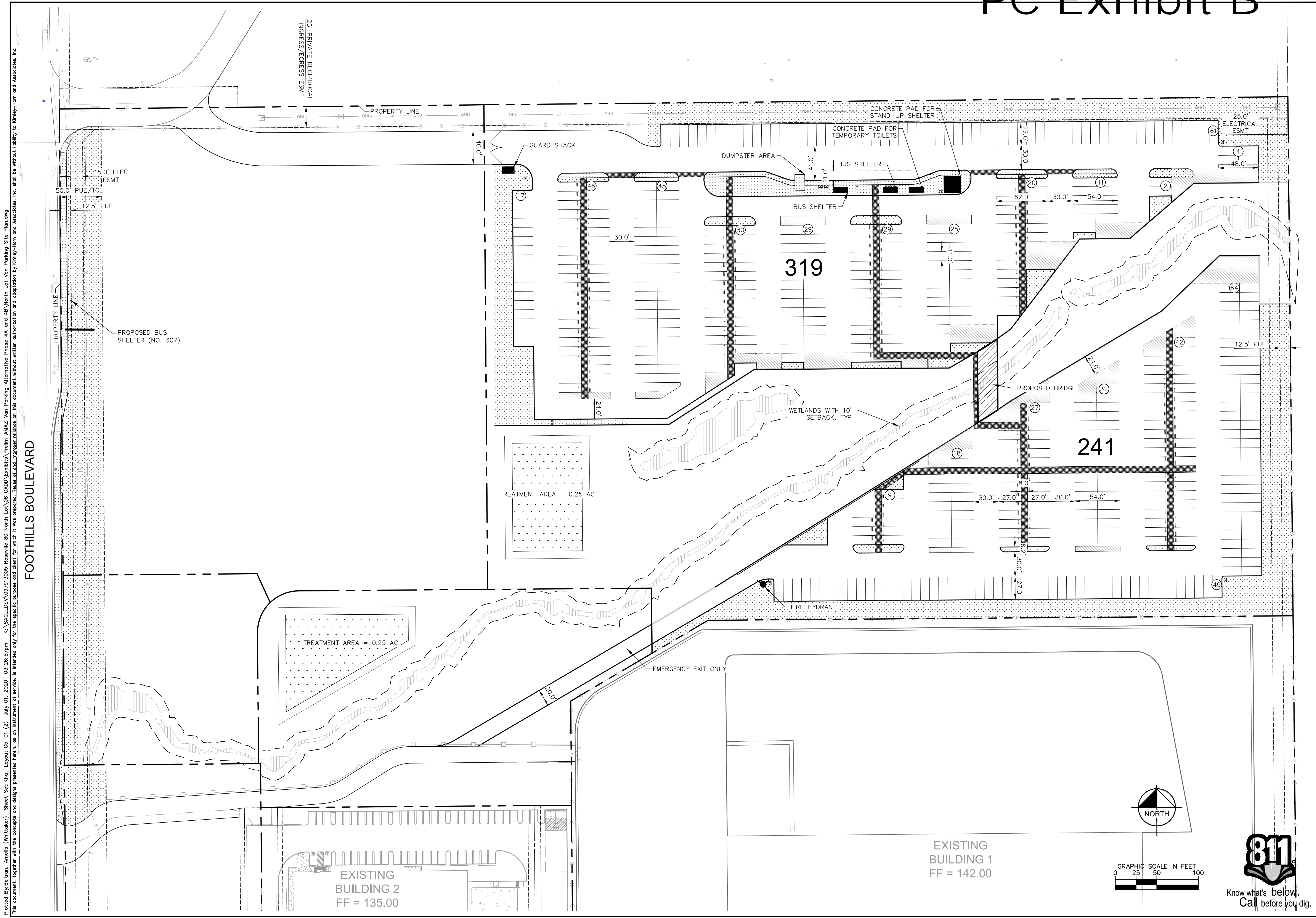
- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- | | |
|------------------------------|--|
| IV - INSULATED VISION GLASS | SC - SPANDREL GLASS WITH CONCRETE BEHIND |
| 1 - SINGLE LITE VISION GLASS | |
- IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN E0 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U-0.27 SHGC-0.21 WET 28%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE.
- V : VISION GLASS
1/4" VISTACOL PACIFICA
- MULLIONS : ANODIZED CLEAR.

ELEVATION COLOR LEGEND/SCHED.

- | | |
|---|---|
| 1 | CONCRETE TILT-UP PANEL. COLOR : SW 7006 EXTRA WHITE |
| 2 | CONCRETE TILT-UP PANEL. COLOR : SW 6385 DOVER WHITE |
| 3 | CONCRETE TILT-UP PANEL. COLOR : SW 7058 MAGNETIC GRAY |
| 4 | CONCRETE TILT-UP PANEL. COLOR : SW 7673 PEWTER CAST |
| 5 | MULLIONS COLOR : CLEAR ANODIZED ALUMINUM |
| 6 | GLAZING COLOR : BLUE REFLECTIVE GLAZING |
| 7 | CANOPY MATERIAL : SHERWIN-WILLIAMS METALLICS TO MATCH FRAZEE 001 WHITE (CLEAR COAT) |
| 8 | DOOR COLORS : MATCH BUILDING COLOR |
| 9 | CONCRETE TILT-UP PANEL. COLOR : KM 5036-3 FOR THE LOVE OF HUE |

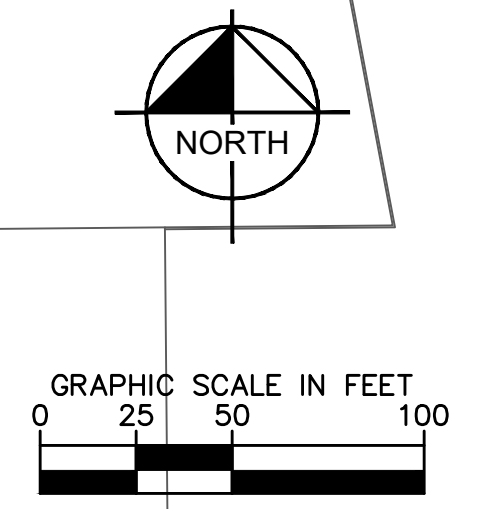
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PC Exhibit B



Plotted By: Beltran, Amelia (Whittaker) Sheet Set: KHA Layout: CS-01 (2) July 01, 2020 05:26:57pm K:\SAC_LDE\097913005 Roseville 80 North Lot\08 CAD\Exhibits\Final\AMAZ Van Parking Alternative Phase 4A and 4B\North Lot Van Parking Site Plan.dwg
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FOOTHILLS BOULEVARD



ROSEVILLE 80 NORTH LOT		KHA PROJECT 097913005		LICENSED PROFESSIONAL		 PANATTONI	
PREPARED FOR PANATTONI DEVELOPMENT		DATE APRIL 2020	SCALE AS SHOWN	DESIGNED AJP	DRAWN AJP	CHECKED	DATE
CITY OF ROSEVILLE, CA		VAN PARKING SITE PLAN - PHASE 4A		© 2020 KIMLEY-HORN AND ASSOCIATES, INC.		555 CAPITOL MALL, SUITE 300 SACRAMENTO, CA 95814 WWW.KIMLEY-HORN.COM	
SHEET NUMBER CP-1 of 8		REVISIONS		NO.		DATE	

